

WINCHESTER CITY COUNCIL
DEVELOPMENT CONTROL COMMITTEE AGENDA

Winchester City
Council
Planning Department
Development Control

TEAM MANAGER
SIGN OFF SHEET

Committee Decision

Case No:	08/02360/FUL	Valid Date	22 October 2008
W No:	03527/05	Recommendation Date	
Case Officer:	Nick Parker	8 Week Date	21 January 2009
		Committee date	8 January 2008
Recommendation:	Application Permitted	Decision:	Committee Decision

Proposal:	Erection of 6 no. 2 bed dwellings with new access from Sleepers Hill and associated landscaping (RESUBMISSION)
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Site:	Land Adjacent To The Day House Sleepers Hill Winchester Hampshire
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Open Space Y/N	Legal Agreement	S.O.S	Objections	EIA Development	Monitoring Code	Previous Developed Land
Y	Y	N	Y	N	N	Y

DELEGATED ITEM SIGN OFF		
APPROVE Subject to the condition(s) listed		
	Signature	Date
CASE OFFICER		
TEAM MANAGER		

AMENDED PLANS DATE:-

- Detailed landscape scheme requested
- Relocation of cycle storage structure requested

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Item No: 1
Case No: 08/02360/FUL / W03527/05
Proposal Description: Erection of 6 no. 2 bed dwellings with new access from Sleepers Hill and associated landscaping (Resubmission)
Address: Land adjacent to The Day House, Sleepers Hill, Winchester, Hampshire
Parish/Ward: Winchester Town
Applicants Name: Trustees Of F J Wallis Will Trust
Case Officer: Nick Parker
Date Valid: 22 October 2008
Recommendation: Application Permitted

General Comments

This application is reported to Committee at the request of Councillor Fiona Mather, whose request is appended in full to this report, and also because 7 letters of objection have been received

Site Description

Sleepers Hill is a well-defined suburban area of Winchester situated on the western side of the city and is located about 1km south-west of the city centre.

The Day House is located on the southern side of the road and is a three storey, 6 bedroom, detached house set within 0.7 ha of grounds which are mainly ornamental gardens. The Day House is an Arts and Craft style building built in the early half of the 20th Century and can be seen in views up and down Sleepers Hill.

The surrounding topography is undulating and the garden slopes away from the house to the south and east. The boundaries of The Day House contain a mix of tall, mature trees, in particular on the east and west boundaries.

There is one main access route serving the residential properties, Sleepers Hill Road, which runs down the hill, connecting Romsey Road (B3040) to the west and Airlie Road, and ultimately St Cross Road (B3335) to the east. Sleepers Hill Road is a privately owned, narrow road.

The site is located within the area covered by the Sleepers Hill Local Area Design Statement (LADS) which was adopted as Supplementary Planning Guidance in 2007.

Proposal

The proposal is for the erection of a three storey building comprising 6 self contained 2-bedroomed flats, a new access to Sleepers Hill, on-site car parking for 12 vehicles, a turning area, refuse and cycle storage facilities and associated landscaping.

The application site currently forms part of the extensive gardens to The Day House. The Day House will be retained as existing although the recent utility/garage extensions on

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the eastern wing of the house would be demolished and replaced with a new double garage. The Day House would continue to be accessed via the existing driveway onto Sleepers Hill.

The application site has an extensive frontage to Sleepers Hill Road, from where a new access would be formed. The proposed new flats would be provided in a single new three storey building fronting Sleepers Hill. The building would be located approximately 15m away from the road and set further back from the road than The Day House.

It is proposed to plant new trees along the frontage of the site and within the proposed parking areas. The extensive and mature rear garden area would be retained as existing and would form part of the communal amenity areas accessible to future occupiers

The application is supported with the following documents:

- Design and Access Statement
- Arboricultural Impact Appraisal and Method Statement
- Ecological Scoping Survey Report

Amended plans have been requested in order to show the relocation of the proposed cycle storage structure away from the root protection zone of the trees on the east boundary of the site.

A detailed landscaping scheme has also been requested.

Relevant Planning History

Land adjacent to The Day House

04/00779/OUT – Erection of 1 dwelling (Outline) - Refused - 18/05/2004.

06/01798/OUT – Demolition of existing building and redevelopment comprising four new structures containing a total of 22 units and ancillary dayhouse (Outline) - Refused - 03/08/2006.

08/01011/FUL – Erection of 6 no. 2 bed dwellings with new access from Sleepers Hill and associated landscaping - Withdrawn - 02/07/2008.

Land adjacent to Sleepers Hill House (opposite site)

08/02564/FUL - 2 no. detached five bed houses with garaging new access and landscaping (Resubmission). Under consideration.

08/02512/FUL - 2 no. semi-detached 2 bedroom dwellings, 2 no. semi-detached 3 bedroom dwellings, garages, access and landscaping. Under consideration.

Consultations

Engineers: Highways Acceptable in principle subject to highway conditions (Conditions 15, 16, 17 and 18) and financial contributions. The LADS for this area sets out highway parameters and suggests that a maximum of 10 additional dwellings can be accommodated by the current highway network, before further improvements are

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required.

Landscape: Original plans - Supports the principle of the proposed layout. Concerns over proximity of cycle shed to Beech trees. Also lacking detail in relation to levels; underground services and landscaping. Recommends conditions (Conditions 3, 4 and 5)

Trees: Original plans – Objection. Insufficient arboricultural information has been submitted to demonstrate what impact the development would have on trees. This is in relation to the proximity of the proposed cycle store structure in relation to the eastern boundary trees. No objection to siting of main building and loss of trees identified as being removed. Tree protection condition recommended (Condition 10).

Engineers: Drainage: No objection provided that foul water goes to the public sewer and storm water is disposed of in a sustainable way. Recommends conditions (Conditions 7 and 8).

Environment Agency: No objection.

HCC Ecology: No objection, subject to a condition to secure implementation of scoping report (Condition 9).

Southern Water: Investigations suggest that Southern Water could provide foul sewage disposal to service the development but a formal application for connection to the public sewer is required. Investigations indicate that there are no public surface water sewers in the area to serve this development. Alternative means of draining surface water from this development are required and details of this should be secured through a condition (Condition 7).

Representations:

City of Winchester Trust:

Objection. The proposed design is an improvement on the previous scheme, but the Trust still has concerns over scale, loss of trees, and the domination of hard surfacing for car parking along the frontage which, in combination, would be detrimental to the character of the neighbourhood and contrary to the aims of the LADS.

7 letters received objecting to the application for the following planning reasons:

- The building is unacceptable in relation to its scale, height, width and general bulk resulting in a building that would appear as a block of flats, which is not in keeping with the LADS for Sleepers Hill;
- Reduces space around The Day House, which alters the character of Sleepers Hill;
- The car parking is unattractive and an unwelcome addition;
- Increased traffic unacceptable at this dangerous bend and places more pressure on the existing junctions to the east and west of Sleepers Hill;
- Concern with proximity of protected trees on east boundary to new building;
- There is not a reduction in the number of windows on the east elevation facing the neighbouring property.

Relevant Planning Policy:

Winchester District Local Plan Review

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DP.1 (design statement), DP.3 (design criteria), DP.4 (landscape/loss of views, slopes etc), DP.5 (amenity/open space), DP.6 (sustainability/renewable energy), H.3 (defined policy boundaries), H.7 (density and housing mix), RT.4 (provision of public open space), T1 (public transport, cycling and walking), T2 (development access), T3 (layout of site to encourage low speeds, cycle parking etc), T4 (parking standards) and W1 (development on steep slopes)

Supplementary Planning Guidance

Sleepers Hill Local Area Design Statement (July 2007)
Achieving a Better Mix in New Housing Developments (August 2002)
Winchester Conservation Area Project
Winchester District Landscape Character Assessment

National Planning Policy Guidance/Statements

PPS1 – Delivering Sustainable Development.
PPS3 – Housing
PPG13 – Transport
PPG17 – Planning for Open Space, Sport and Recreation

Other Planning Guidance

Manual for Streets
Technical Paper: Open Space Provision and Funding
The Future of Winchester Study
Winchester District Urban Capacity Study
Winchester Housing Needs Survey

Planning Considerations

The main planning considerations include:

- The principle of development.
- Character of area.
- Development density.
- Scale, form, design and landscaping.
- Parking and transportation.
- Residential amenity.

Principle of development

The site lies within the built-up area of Winchester as defined in the WDLPR. Policy H3 allows for the principle of new residential development in these areas and as such there is a presumption in favour of the residential development of the site. It is recognised that the site occupies a sensitive location within the Sleepers Hill area as defined in the LADS. As such, careful consideration should be given to whether the detail of the proposed development is acceptable in this location. The following sections examine the detail of the proposed residential scheme and assess it against the relevant policies of the WDLPR and the objectives of the LADS.

Character of area

The site is located within the area covered by the Sleepers Hill LADS which was adopted as Supplementary Planning Guidance in 2007. The LADS describes the main features of

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the area, most notably its elevated position and its generally spacious and leafy character. The LADS describes the typical image or impression of Sleepers Hill as being of large individual residential houses set in spacious and leafy surroundings, as typified by the view looking down the road, opposite The Day House midway down the hill. The LADS also emphasises the contribution that Sleepers Hill Road and the high level of tree cover makes to the special character of the area.

The LADS does, however, differentiate between areas within Sleepers Hill. The application site is located within Character Area B along the lower, southern side of the road where there are several large, long-established houses (as well as some more recent infills) with mature and well-established trees and other vegetation along the boundary with the road. The character appraisal of this area notes that the gardens, whilst still relatively large, are not as extensive as those within Character Area A and the houses are situated rather closer to the road which creates a loosely defined building line in this locality, although, being set down below the level of the road, the effect of the houses is reduced.

Development density

Policy H7 of the WDLPR emphasises the need to ensure an efficient use of sites that are suitable for residential development in line with PPS3. Policy H7 also advises that Neighbourhood Design Statements should be taken into account when assessing the impact of higher density development on the character of the surrounding area. The Sleepers Hill LADS document states that:

“Although regard should be given to Central Government and Local Plan recommended densities (30-50 dph), development proposals must achieve an appropriate balance between increasing density and respecting the area’s character”.

The LADS identifies a number of key features that contribute to the character of the area and recognises that it will be important that these are protected, which will inevitably mean that gross development densities will be reduced, and possibly substantially so in a number of instances. The proposed scheme results in a site density of 16 dph, which is substantially below the recommended minimum density levels. Whilst this is considered a low density of development, the special character of the area is a primary consideration in this instance. The following paragraphs assess the scale, form, design and landscape of the proposed development in the context of the Sleepers Hill environment.

Scale, form, design, landscaping and open space

After assessing the plot sizes and spaces between residential buildings in the area, it is considered that the application site represents an appropriate “cell” for new residential development to take place. The resulting building to plot ratios would be similar to others in the area and would therefore maintain the spatial quality of the Sleepers Hill environment. The set back position of the building from the road and its separation from The Day House would aid in accommodating the building within this space. The proposed landscaping along the frontage of the site behind the existing hedge and fence would filter views of the building from the road and would maintain the general leafy character of the area. It will be important to ensure a well tree’d frontage to Sleepers Hill in order to reinforce the character of the area. To this end, a detailed landscape scheme has been requested and the report will be updated accordingly at the Committee meeting. In addition, there is concern that the position of the proposed

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cycle storage structure within the root protection zone of the trees on the eastern boundary may be detrimental to the trees. The applicant has agreed to relocate the structure to a position away from these trees and an amended site plan is expected, details of which will also be reported at the Committee meeting.

The proposed building is large in scale and size and would provide three stories of residential accommodation (albeit with the majority of the third floor contained within the roof space above the roof eaves line). The LADS advises that new buildings should be contained broadly within the overall mass of adjacent buildings, particularly with regard to building height and that they should generally be of no more than two storeys in height, but does acknowledge that a third floor within roofs may be acceptable. The Day House is a large three storey building and its position close to the road and set higher up the site emphasises its presence in the street. The proposed building would be positioned at a lower level than The Day House and set back further into the site. Whilst the proposed building is large and tall, its position within the site away from The Day House and the road, should allow sufficient space between buildings and the road to minimise its visual impact.

The LADS explains that any new development should be domestic in appearance and character, rather than having the appearance of apartment blocks or flats. The LADS qualifies that the development of flats or apartments may be acceptable but it is important that new development reflects the form, scale and character of domestic buildings in order to integrate with the more traditional character of Sleepers Hill. The architectural design of the proposed building has been subject to detailed discussions. The footprint of the building is no longer square and is broken up into smaller sections that result in the staggering of the building footprint, which leads to variation in the vertical elements of the principal elevations and aids in breaking up the bulk and mass of the building. The building is traditional in appearance and individually designed, resulting in a building that has a sense of individuality and variety in its architectural treatment and which is considered to be in keeping with the individual style of other substantial detached houses in the area.

The LADS also explains that the relationship of buildings to the skyline of trees is important, and new development should also remain essentially contained within the existing backdrop of trees. A group of tall, mature trees (up to 25m in height) are located on the east boundary of the site and form a backdrop to the site when viewed from the north. A 12m high Walnut tree occupies a corner position and is to be felled as it is heavily cankered and of poor form. Behind this tree, a maturing 15m high Beech is also to be felled. The removal of these trees from the frontage is accepted by the Council's Arboricultural Officer and opens an opportunity for a better replacement which should make a more significant contribution to the amenities of Sleepers Hill. A detailed landscape scheme has been requested at this stage to ensure that the special amenity of the area is maintained and enhanced. The majority of the tall and mature trees on the east boundary are to be retained and would continue to provide an attractive natural backdrop to the proposed development when viewed from the roadside.

Financial contributions towards the provision of Public Open Space (sports and play space) will be secured by way of a Legal Agreement.

Overall, it is considered that the provision of a substantial residential building on this site is acceptable and would maintain the existing pattern and individual form of

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development in this special character area of Sleepers Hill. The architectural design of the building aids in breaking up its overall mass and bulk, resulting in a building that is in keeping with the style of other buildings in the area. The provision of new tree planting and further landscaping along the frontage of the site and within the parking courtyard behind the existing fence would help to maintain the leafy appearance of the area. It is considered that the proposal provides a reasonable level of additional residential development whilst adequately maintaining the special character of the area and accords with the guidance set out in the LADS.

Parking and transportation

The proposed development involves the provision of a new vehicular access onto Sleepers Hill and the provision of 12 car parking spaces to serve the development. Access is provided in accordance with Manual for Streets and the car and cycle parking is in accordance with WCC proposed standards. The Highways Officer has no objection to the proposals.

The LADS also addresses transportation issues that have been agreed with Hampshire County Council. The LADS makes it clear that the scale and effects of traffic impacts need to be considered in the context of the totality of development in Sleepers Hill, taking into account the wider development capacity of the area due to the inadequacy of Sleepers Hill and its junctions with Romsey Road and Sparkford Road. The LADS restricts new development to that which would not exceed a material traffic increase (5%), whether resulting from a single development or the cumulative effect of several proposals. The 5% traffic increase has been calculated to equate to 10 additional residential units for the area. Since the LADS has been adopted, permission has been granted for 4 new dwellings at land adjacent to Milnthorpe in Sleepers Hill (ref: 08/01635/FUL). Previously, 2 dwellings were permitted on this site prior to the adoption of the LADS and therefore the original 5% (10 dwelling) threshold included these additional dwellings in calculating the highway limits. In addition to this recent permission, there has been one approval for a single dwelling in the grounds of "Springdale" (ref: 08/01838/FUL) since the adoption of the LADS. Therefore, 3 of the original 10 dwellings threshold figure have been accounted for. The proposed additional 6 residential units would increase the total number to 9 and therefore are still within the threshold limit.

Financial contributions towards transport measures will be secured by way of a Legal Agreement.

Residential amenity.

The site is bordered to the east by the property of High Wyck and to the west by The Day House. The east elevation of the proposed building would be located approximately 11m from the boundary with High Wyck and there is substantial tree planting located on both sides of the boundary. A number of windows are proposed in the east elevation of the proposed building on the ground, first and second floors. The windows would serve bathroom, kitchen and secondary living room accommodation. Due to the distance between the east elevation and the neighbouring property, the intervening vegetation and the nature and size of the windows, it is considered that the development would not lead to the significant loss of privacy through overlooking.

It is considered that there is sufficient space between the proposed building and The Day House to allow acceptable living conditions without significant loss of residential

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amenity.

Conclusion

There is a presumption in favour of residential development in this area and the special character of the area is recognised through the Sleepers Hill Local Area Design Statement, adopted in June 2007. Subject to satisfactory amended and additional details in relation to the relocation of the cycle storage structure and a detailed landscaping scheme, the proposed development is considered to meet the criteria set out in the LADS in terms of density, scale, form, design, landscaping and transportation and is considered an appropriate development of the site that does not adversely affect the local character or residential amenity. As such, the application is recommended for planning permission.

Recommendation:

That, subject to the receipt of satisfactory amended and additional plans showing the relocation of the cycle store structure and a detailed landscaping scheme, and provided the applicant enters into a Legal Agreement to secure relevant contributions for public open space funding and highway contributions, **permission be GRANTED** subject to the following conditions:

(Note: If the Legal Agreement is not completed within 6 months then the application may be refused without further reference to Committee)

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. No development shall take place until details and samples of the materials to be used in the construction of the external surfaces of the buildings hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory appearance in the interests of the amenities of the area.

3. No development shall take place until details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. These details shall include the following, as relevant:

- existing and proposed finished levels or contours;
- means of enclosure, including any retaining structures;
- hard surfacing materials;

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Soft landscape details shall include the following as relevant:

- planting plans;
- written specifications (including cultivation and other operations associated with plant and grass establishment);
- schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate;
- retained areas of grassland cover, scrub, hedgerow, trees and woodland;
- implementation programme;

Reason: To maintain the landscape setting of the area in the interests of visual amenity.

4. All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out before the use hereby permitted is commenced and prior to the completion of the development or in accordance with the programme agreed with the Local Planning Authority. If, within a period of five years after planting, any tree or plant is removed, dies or becomes, in the opinion of the Local Planning Authority, seriously damaged, defective or diseased another tree or plant of the same species and size as that originally approved shall be planted at the same place, within the next planting season, unless the Local Planning Authority gives its written consent to any variation.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs.

5. No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The schedule shall include details of the arrangements for its implementation. Landscape maintenance shall be carried out in accordance with the approved schedule.

Reason: To ensure that due regard is paid to the continuing enhancement and maintenance of amenity afforded by landscape features of communal, public, nature conservation and historic significance.

6. Prior to the commencement of development a Sustainability Strategy shall be submitted to and approved in writing by the Local Planning Authority. The Sustainability Strategy shall identify the measures taken within the development to comply with the aims of Policy DP.6 of the adopted Winchester District Local Plan Review and the Code for Sustainable Homes.

Reason: In order to promote sustainable forms of development and avoid wasteful use of energy and natural resources.

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7. Prior to the commencement of development, details of the measures to be taken to connect to the public sewer shall be submitted to and approved in writing by the Local Planning Authority in consultation with Southern Water.

Reason: To ensure adequate means of drainage and waste disposal from the site.

8. Development shall not commence until a system for the disposal of surface water, incorporating sustainable drainage principles (including methods for the retention/management of grey water and storm water within the site, such as water butts) has been submitted to and approved by the Local Planning Authority. The scheme shall include a maintenance programme and establish ownership of the drainage system. The approved scheme shall subsequently be implemented in accordance with the approved details before the development is completed, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure an adequate and sustainable means of drainage for the site.

9. The development hereby permitted shall be carried out in accordance with the recommendations set out in the approved Scoping Survey Report produced by naturally Wild Consultants Ltd on 30/06/08, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of safeguarding protective species.

10. The development hereby permitted shall be implemented in accordance with the approved Arboricultural Impact Appraisal and Method Statement compiled by Barrell Tree Consultancy on 9th October 2008, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to protect the existing trees during the works in the interests of the visual amenity of the area.

11. The proposed hard-standing area shall use permeable materials only, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of sustainable drainage.

12. Details of the floor slab levels and existing and proposed ground levels shall be submitted to and approved in writing by the Local Planning Authority prior to work commencing on the site. The development shall be carried out in accordance with the approved details.

Reason: To protect the amenities of the locality and neighbouring residents.

13. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order, with or without modification), no windows other than those expressly authorised by this permission shall, at any time, be constructed in the east and west elevations of the building hereby permitted.

Reason: To protect the amenity and privacy of the adjoining residential properties.

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14. Full details, including large scale drawings, of all new windows and doors shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of work. The windows and doors shall be installed in accordance with the approved details.

Reason: To protect the character and appearance of the building and surrounding area.

15. Details of measures to be taken to prevent mud from vehicles leaving the site during construction works being deposited on the public highway shall be submitted to and approved in writing by the Local Planning Authority and fully implemented before development commences. Such measures shall be retained for the duration of the construction period. No lorry shall leave the site unless its wheels have been cleaned sufficiently to prevent mud being carried onto the highway.

Reason: In the interests of highway safety.

16. Details of provisions to be made for the parking and turning on site of operative and construction vehicles during the period of development shall be submitted to and approved in writing by the Local Planning Authority and fully implemented before development commences. Such measures shall be retained for the construction period.

Reason: In the interests of highway safety.

17. Before the development hereby approved is first brought into use, visibility splays of 2.4 metres by 43.0 metres shall be provided at the junction of the access and public highway. The splays shall be kept free of obstacles at all times. No structure, erection or vegetation exceeding 600mm in height above the level of the adjacent highway shall be permitted within the splays.

Reason: In the interests of highway safety.

18. The parking areas shall be provided in accordance with the approved plans before the flats are first occupied and thereafter permanently retained and used only for the purpose of accommodating private motor vehicles or other storage purposes incidental to the use of the flats as residences.

Reason: To ensure the permanent availability of parking for the flats.

Informatives:

1. This permission is granted for the following reasons:

The development is in accordance with the policies and proposals of the Development Plan set out below, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

2. The Local Planning Authority has taken account of the following Development Plan policies and proposals:-

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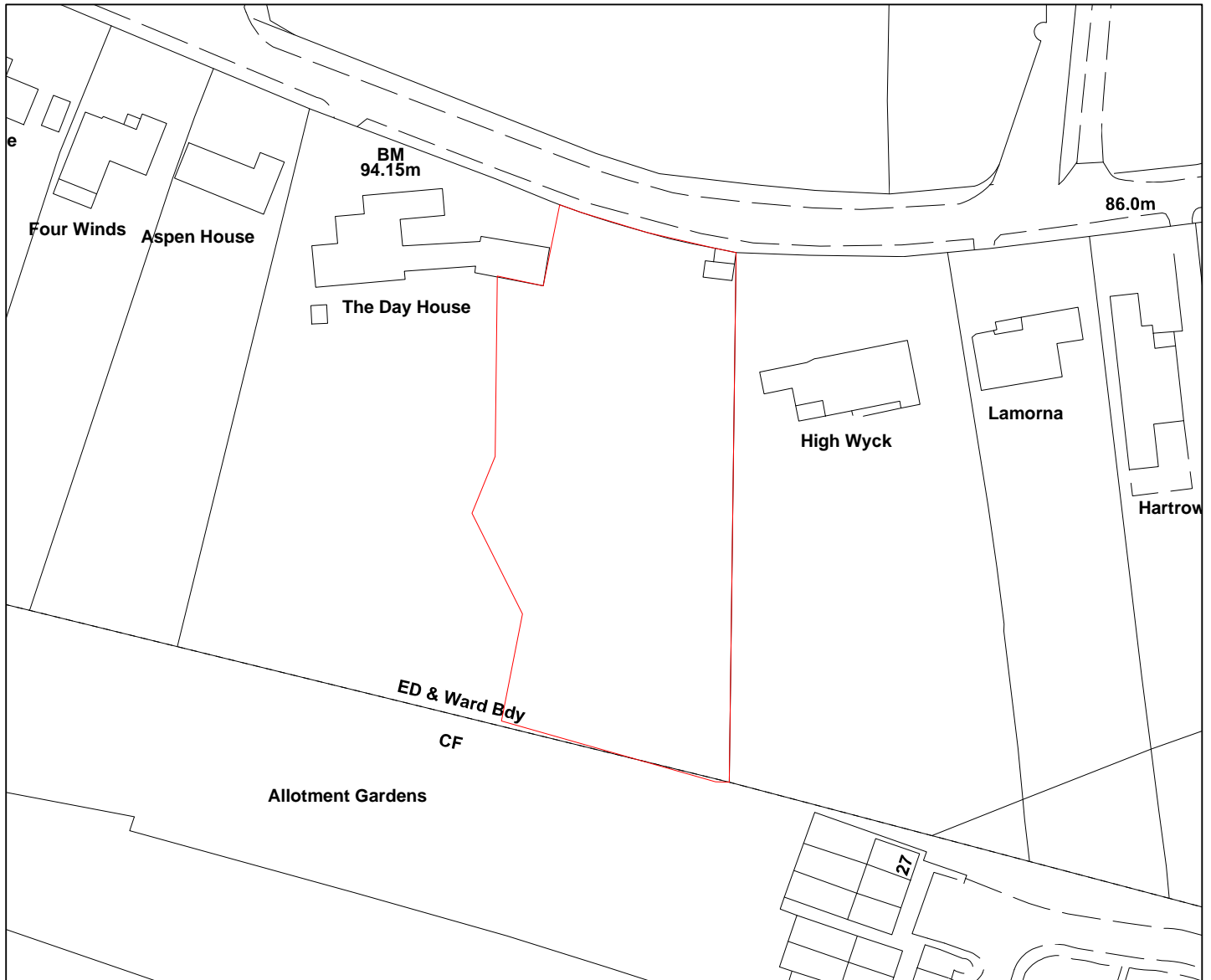
Winchester District Local Plan Review 2006: DP.1 (design statement), DP.3 (design criteria), DP.4 (landscape/loss of views, slopes etc), DP.5 (amenity/open space), DP.6 (sustainability/renewable energy), H.3 (defined policy boundaries), H.7 (density and housing mix), RT.4 (provision of public open space), T1 (public transport, cycling and walking), T2 (development access), T3 (layout of site to encourage low speeds, cycle parking etc), T4 (parking standards) and W1 (development on steep slopes)

Land adj Day House, Sleepers Hill



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City Council

Item 1



Legend

Scale: 1:1000



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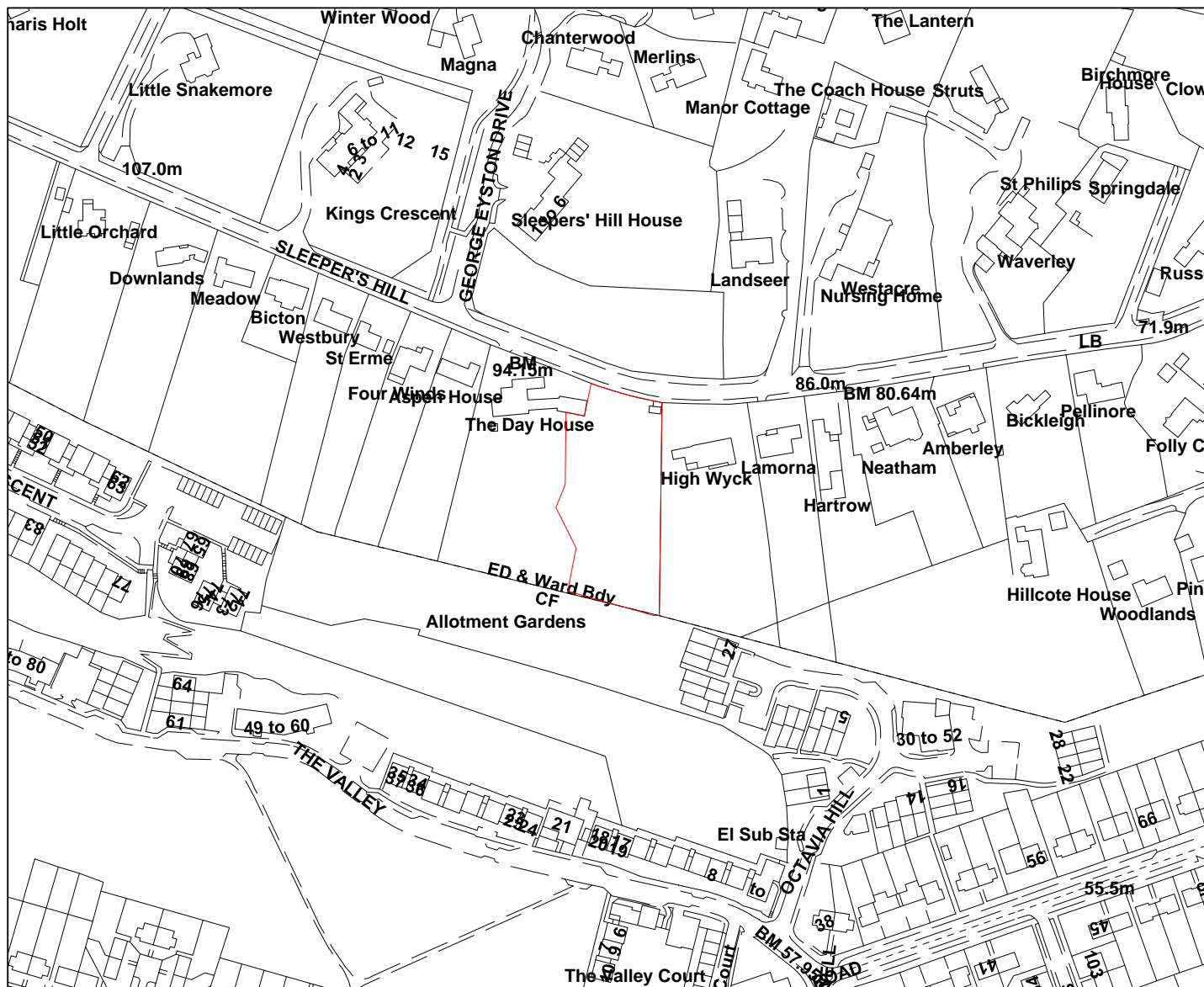
Organisation	Winchester City Council
Department	Development Services
Comments	1:1000
Date	17 December 2008
SLA Number	00018301

Land adj Day House, Sleepers Hill



Winchester
City Council

Item 1



Legend

Scale: 1:2500



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