



<b>Meeting</b>	Planning Committee
<b>Date and Time</b>	Wednesday, 14th August, 2024 at 9.30 am.
<b>Venue</b>	Walton Suite, Guildhall Winchester and streamed live on YouTube at <a href="http://www.youtube.com/winchestercc">www.youtube.com/winchestercc</a>

**Note:** This meeting is being held in person at the location specified above. Members of the public should note that a live video feed of the meeting will be available from the council's YouTube channel ([www.youtube.com/winchestercc](http://www.youtube.com/winchestercc)) during the meeting.

A limited number of seats will be made available at the above named location however attendance must be notified to the council at least 3 clear working days (by 4.30pm on Thursday, 8 August 2024) before the meeting. Please note that priority will be given to those wishing to attend and address the meeting over those wishing to attend and observe.

## AGENDA

### PROCEDURAL ITEMS

#### 1. **Apologies and Deputy Members**

To record the names of apologies given and Deputy Members who are attending the meeting in place of appointed Members.

#### 2. **Disclosures of Interests**

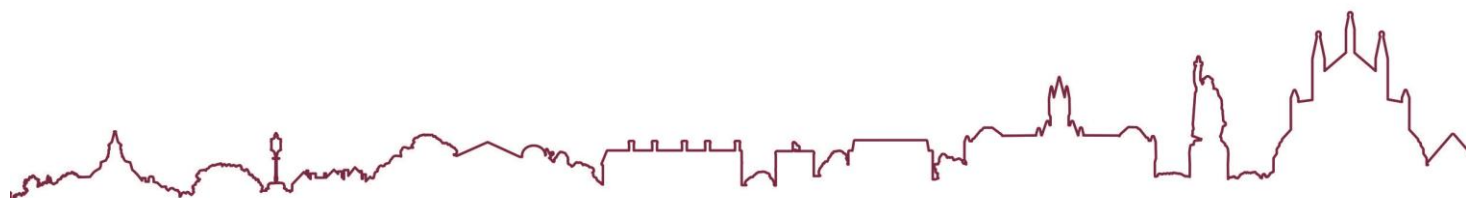
To receive any disclosure of interests from Members and Officers in matters to be discussed.

*Note: Councillors are reminded of their obligations to declare disclosable pecuniary interests, personal and/or prejudicial interests, and on Predetermination or Bias in accordance with legislation and the Council's Code of Conduct.*

If you require advice, please contact the appropriate Democratic Services Officer, prior to the meeting.

#### 3. **Minutes of the previous meeting** (Pages 9 - 18)

Minutes of the previous meeting held on 17 July 2024.



Public speaking is allowed on individual planning applications, subject to certain restrictions – please contact the Public Speaking Co-ordinator as soon as possible, but **prior to 4.30pm on Thursday, 8 August 2024** (01962) 848 339 to register to speak and for further details.

## BUSINESS ITEMS

	Report Number	Ward
4.	Where appropriate, to accept the Update Sheet as an addendum to the Report	
5.	Planning Applications (WCC Items 6-8) (PDC Report and Update Sheet refers)	
6.	Post Office, Winchester Road, Waltham Chase, Hampshire (Case number: 23/02061/FUL) (Pages 19 - 56)	Central Meon Valley
7.	Highview, Swanmore Road, Swanmore, Southampton, Hampshire, SO32 2QH (Case number: 24/00936/HOU) (Pages 57 - 94)	Central Meon Valley
8.	Forest Edge, Solomons Lane, Shirrell Heath, Southampton, Hampshire, SO32 2HU (Case number: 24/00855/HOU) (Pages 95 - 120)	Whiteley and Shedfield

**Laura Taylor**  
Chief Executive

All of the Council's publicly available agendas, reports and minutes are available to view and download from the Council's [Website](#) and are also open to inspection at the offices of the council. As part of our drive to minimise our use of paper we do not provide paper copies of the full agenda pack at meetings. We do however, provide a number of copies of the agenda front sheet at the meeting which contains the QR Code opposite. Scanning this code enables members of the public to easily access all of the meeting papers on their own electronic device. Please hold your device's camera or QR code App over the QR Code so that it's clearly visible within your screen and you will be redirected to the agenda pack.



6 August 2024

Agenda Contact: Claire Buchanan, Senior Democratic Services Officer tel: 01962 848 438 Email: [cbuchanan@winchester.gov.uk](mailto:cbuchanan@winchester.gov.uk)  
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*\*With the exception of exempt items, agendas, reports and previous minutes are available on the Council's Website <https://www.winchester.gov.uk/councillors-committees>*

## **MEMBERSHIP**

### **Chairperson:**

Rutter (Liberal Democrats)

### **Vice-Chairperson:**

Williams (Liberal Democrats)

#### **Conservatives**

Cunningham  
Langford-Smith

#### **Liberal Democrats**

Achwal V  
Clear  
Laming  
Small

#### **Green**

White

#### **Conservatives**

Bolton and Godfrey

#### **Deputy Members Liberal Democrats**

Aron and Pett

#### **Green**

Lee

Quorum = 3 members



Working in Partnership



## **THE HUMAN RIGHTS ACT 1998:**

Please note that the Human Rights Act 1998 makes it unlawful for the Council to act in a way incompatible with any of the Convention rights protected by the Act unless it could not have acted otherwise.

In arriving at the recommendations to grant or refuse permission, careful consideration has been given to the rights set out in the European Convention on Human Rights including Article 6 (right to a fair trial), Article 8 (right to respect for private and family life), Article 14 (prohibition of discrimination in enjoyment of convention rights) and Article 1 of the first Protocol (the right to peaceful enjoyment of possessions).

The Council is of the opinion that either no such rights have been interfered with or where there is an interference with the rights of an applicant or objector, such interference is considered necessary for any of the following reasons:-

- ◆ The protection of rights and freedoms of others
- ◆ The prevention of crime or disorder
- ◆ The economic well being of the

◆ Public safety

country.

◆ The protection of health or morals

It is also considered that such action is proportional to the legitimate aim and in the public interest.

## **GENERAL GUIDANCE ON THE WORK OF THE COMMITTEE:**

### **Background**

The Planning committee meets on average once every four weeks. The membership of the committee is drawn from elected city councillors.

The Council's Constitution states that the vast majority of applications will be determined by the Planning officers (which are sometimes known as "delegated decisions"). However, if certain criteria are met from the Constitution, some applications (about 5%) are referred to committee for determination, rather than officers.

As part of the Winchester District includes the South Downs National Park (SDNP), the committee can also determine applications from this area on behalf of the National Park Authority.

### **At the meeting**

At the start of the committee meeting, the councillors and officers will be introduced. Any councillor's declarations of interest will also be announced at this point. If the interest is considered by the councillor to be significant, he/she will leave the meeting when it reaches that item on the agenda.

### **Timing**

The committee considers many applications and scrutinises each one thoroughly. However, to prevent waiting unnecessarily through other people's applications, where work demands it, agendas will be split into morning and afternoon sessions. The morning session will usually start at 9.30am and, where applicable, the agenda will set out those items which the committee will *not* consider before 2.00pm in the afternoon. Further details are set out below.

### **The Officer's presentation**

On each item, the planning case officer will introduce the application to the committee. They will concentrate on showing details of the proposals with the aid of projected visual material, including photographs of the site and plans. The length and details of the presentation at the meeting will be proportionate to the nature and scale of the proposal. The officer will make a recommendation to the committee to either approve or refuse the application and, in the latter case, will state the reasons for this.



The officer is required to make a recommendation and the presentation will include material to explain why the scheme is being recommended for permission or refusal. However, officers will not restate the information set out in the report which relates to the assessment of the planning merits of the case. Specialist officers dealing with issues such as landscape, design and historic environment may also be available at committee to provide advice on such matters and a legal representative will attend all Planning committee meetings.

### **Public participation:**

There will be a period of public participation, as follows:

- Objectors (3 minutes in total),
- Parish Council representatives (3 minutes),
- Ward Members (local District Councillors)/Cabinet Members (5 minutes each),
- and supporters of the application (3 minutes in total).

The process is controlled by procedures to ensure fairness to both objectors and supporters. **To register to speak at the meeting, please contact the Public Speaking Co-ordinator on 01962 848 339 by 4:30pm at least THREE clear working days before the meeting**, (Thursday, 8 August 2024) in order to allow the meeting to be managed as efficiently as possible.

Please keep to the time allocated.

After each speaker's category, there will be an opportunity for the committee to ask questions of the speakers, if the committee considers it necessary to clarify any matters of fact that arise.

Aside from this, the committee will not enter into any further discussion with members of the public.

The names of members of the public etc who have registered to address committee meetings will appear in the minutes as part of the public record, which will be included on the Council's website. Those wishing to address a committee meeting who object to their names being made available in this way must notify the Democratic Services Officer either when registering to speak, or within 10 days of this meeting.

Further information about speaking at the Planning Committee can be [found here](https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee). ( <https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee> )

### **Members' Questions**

After the officers' presentation and public participation there will be an opportunity for the Councillors on the committee to ask questions of the officers and clarification, if necessary, of public speakers.

## **The Councillors' Debate**

The Councillors will then debate the application and may pick up any issues raised during public participation before a vote is taken to either;

- permit,
- refuse or
- defer (usually for a site visit or for further information). If a site visit is required then the item will usually be deferred to the next meeting of the committee to allow it to be reconsidered after the site visit has been held. The item will be reconsidered in its entirety, including public participation where those registering to speak will be given the opportunity to address the committee.

If the committee votes against the officer's recommendation, the reasons for this will be discussed and explained. Usually, the precise wording for the reasons for refusal will be delegated to the Service Lead Built Environment in consultation with the Chair. A summary of the committee's reasons will be included in the minutes.

## **Voting**

Every Member has one vote when a matter before the meeting requires a decision. In the event of an equality of votes, the Chair may exercise a casting vote and that vote may be cast in any way they wish.

A Member may abstain from voting or vote differently from how they may have indicated during the debate, without further explanation. The way each member voted will not be recorded in the minutes, unless a motion to have a recorded vote has been passed.

## **After the meeting**

After the meeting, the minutes will be available from the Council's website and a decision notice will be sent to the applicant/agent. Applicants have a right of appeal against a committee decision to refuse planning permission, or any conditions imposed on permission, and any appeal will be considered by an Inspector appointed by the Secretary of State. Where an application has been permitted, there is no opportunity for objectors to appeal, other than to the Court by way of judicial review on a point of law.

## **Filming and broadcast notification**

This meeting will be recorded and broadcast live on the Council's YouTube channel. The meeting may also be recorded and broadcast by the press and members of the public – please see the Access to Information Procedure Rules within the Council's Constitution for further information, which is available to view on the [Council's website](#). Please note that the video recording is subtitled, but you may have to enable your device to see them (advice on how to do this is on the meeting page).

**Disabled access**

Disabled access is normally available, but please phone Democratic Services on 01962 848 264 or email [democracy@winchester.gov.uk](mailto:democracy@winchester.gov.uk) to ensure that the necessary arrangements are in place.

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# Public Document Pack Agenda Item 3

## **PLANNING COMMITTEE**

**Wednesday, 17 July 2024**

Attendance:

Councillors  
Rutter (Chairperson)

Williams  
Achwal V  
Laming

Small  
Cunningham  
White

Apologies for Absence:

Councillors Clear and Langford-Smith

Other members in attendance:

Councillors Learney and Power

[Video recording of this meeting](#)

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1. **APOLOGIES AND DEPUTY MEMBERS**

Apologies were noted as above.

2. **DISCLOSURES OF INTERESTS**

Councillor Cunningham advised that the application at agenda item 13 (Workshop, East Stoke Farm, Old Stoke Road, Stoke Charity, Winchester. (case reference: 23/01890/FUL) was within his ward, however, he had taken no part in discussions regarding the application, therefore he took part in the consideration of this item and voted thereon.

Councillor Small and Councillor Achwal advised that the application at agenda item 14 (Land at Greenbank Hole Lane, Curdridge) was within their ward, however, they had taken no part in discussions regarding the application, therefore they took part in the consideration of this item and voted thereon.

Councillor Laming advised that the application at agenda item 10 (Meadows End, 7 Heathcote Place, Hursley, Winchester, Hampshire. (case reference: 24/00224/HOU) was within his ward, however, he had taken no part in discussions regarding the application, therefore he took part in the consideration of this item and voted thereon.

The Chairperson advised that an objector relating to agenda item 10 (Meadows End, 7 Heathcote Place, Hursley, Winchester, Hampshire. (case reference: 24/00224/HOU)) was an acquaintance of several members of the committee due to being a former city councillor. No specific interests were declared.

3. **MINUTES OF THE PREVIOUS MEETING.**

RESOLVED:

That the minutes of the previous meeting held on 12 June 2024 be approved and adopted.

4. **WHERE APPROPRIATE, TO ACCEPT THE UPDATE SHEET AS AN ADDENDUM TO THE REPORT**

The Committee agreed to accept the Update sheet as an addendum to the report.

5. **PLANNING APPLICATIONS (WCC ITEMS 6 - 10 AND UPDATE SHEET REFERS)**

A copy of each planning application decision was available to view on the council's website under the respective planning application. The committee considered the following items:

6. **WRAY HOW, 30 DOWNSIDE ROAD, WINCHESTER SO22 5LU (CASE REFERENCE: 23/01562/FUL). ST BARNABAS**

Proposal Description: Detailed Planning Permission for a development comprising 3 units, 2 x detached outbuildings, parking, landscaping and access (AMENDED DESCRIPTION, AMENDED PLANS AND ADDITIONAL INFORMATION).

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including;

1. Within the section headed "Amendments to Plans Negotiated", the number of the neighbouring property should read Number 28 not Number 24
2. Under Consultee responses – condition numbers should read:
  - Service Lead for Community – (Trees) – No objections subject to conditions (Conditions 7, 16 and 17)
  - Service Lead for Natural Environment – (Ecology) – No objections subject to conditions securing appropriate mitigation for reptiles (Condition 15)
3. Page 25 – Condition 18 referenced and corrected to Condition 7 and 15.
4. Amend Informative 9 to read as follows: "With regards to Conditions 7 and 14, the landscaping details and CMP shall have full regard to the recommendations contained within Section 5 of the approved ecology assessment (Peach Ecology, 5 June 2023 Report Number: 0526) and shall include provision for fence holes and features for bats and swifts"

During public participation, Claire Cook spoke in objection to the application, and Alex King spoke in support of the application and answered members' questions.

Councillor Learney spoke as a ward member and expressed several points on behalf of residents which could be summarised as follows.

1. The development faced strong objections from residents concerned about preserving the area's character, ecology, and biodiversity.
2. Downside Road, like other nearby streets, featured large leafy trees and homes hidden by hedges, creating a scenic route frequently used by pedestrians.
3. There was a clear distinction between Downside Road and 26 Grovelands, which should not be used as a reference point due to its lack of visibility from Downside Road.
4. The St Barnabas West design statement highlighted the area's semi-rural atmosphere, derived from its diverse trees and plants supporting wildlife, and emphasised retaining existing building lines.
5. The proposal moved the building line forward, making the large house very prominent. Although mitigation for the loss of trees was proposed, the increase in hard landscaping meant it would take many years to restore the current biodiversity and visual impact.
6. The committee was urged to refuse the application, but if approved, Councillor Learney urged that conditions must be enforced as outlined in the paper.

The committee proceeded to ask questions and debate the application.

#### RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the Update Sheet and subject to an additional condition to remove permitted development rights in Classes A, B, C and D.

7. **13 QUARRY ROAD, WINCHESTER, HAMPSHIRE, SO23 0JF. (CASE REFERENCE: 24/00518/HOU). ST MICHAEL**

Proposal Description: Demolition of existing single-storey lean-to rear addition and construction of new single-storey rear extension; Alterations to windows at first-floor level on rear/west elevation; New Velux type windows into front and rear roof slopes and small zinc-clad roof extension on rear roof slope.

The application was introduced. Members were referred to the update sheet which provided information regarding additional grounds for objection which had been raised within representations on 11th July 2024 and 15th July 2024. These were set out in full with officer comments within the update sheet.

During public participation, Alison Rayner spoke in objection to the application, and Sally Brewin spoke in support of the application and answered members' questions.

The committee proceeded to ask questions and debate the application.

#### RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet.

8. **1 - 3 THE DEAN, ALRESFORD, HAMPSHIRE. (CASE REFERENCE: 23/00701/FUL). ALRESFORD & ITCHEN VALLEY**

Proposal Description: Demolition of existing buildings and construction of 14 apartments and a 40-space public car park. Application includes access, parking, cycle storage, refuse storage, landscaping and other associated works.

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including;

1. A consultation from the housing team which was set out in full within the update sheet.
2. A change to the wording of the reason on condition 19, to now read as follows:

19. The development hereby permitted shall not be occupied until after the 1st of January 2026.

Reason: To accord with the Conservation of Habitats and Species Regulations 2017, and Policy CP11, CP16 and CP21 of the Winchester District Local Plan Part 1 in relation to the Appropriate Assessment.

3. The following additional conditions were proposed:

20. Prior to commencement of the first dwelling above slab level, details of a phasing plan for the construction and completion of the housing, access and car park hereby permitted, including a timeframe to transfer the car park to Winchester City Council, shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved details.

Reason: To ensure the timely delivery of the car park in accordance with policy NA1 alongside housing phasing which cannot be occupied until January 2026.

21. Prior to the commencement of the use of the car parking area, details shall be submitted to and approved in writing by the Local Planning Authority for the external lighting and CCTV for the car parking area. Details should include siting and appearance, and luminance levels and timings of lighting switching on and off and



any dimming of lighting proposed. Development shall be carried out in accordance with the approved details.

Reason: To protect the appearance of the area, the environment and local residents from light pollution. 22. The development shall be carried out in accordance with the measures set out within the Ecological Impact Assessment Carried out by Ecology Solutions dated February 2023 (Ref. 10103M.EcoAss.vf). Details shall include swift boxes, house martin boxes and hedgehog gaps. Thereafter, the compensation measures shall be maintained and retained for the life time of the permission in accordance with the approved details.

Reason: To provide adequate mitigation and enhancement for protected species

During public participation, Alistair Harris spoke in support of the application and answered members' questions.

Councillor Power spoke as a ward member and expressed several points on behalf of residents which could be summarised as follows.

1. She extended her thanks to the committee for visiting the site the previous day.
2. She supported the revised plans, despite acknowledging the loss of amenity, jobs, and essential infrastructure for house martins.
3. She noted the proposed conditions to provide for house martin cups, advocating for them to be built-in rather than added on, as this approach lasted longer. She suggested that, wherever possible, swift bricks be incorporated.
4. She mentioned the absence of swifts but noted their presence nearby on Broad Street and advised of their reduced numbers due to modern building construction.

The committee proceeded to ask questions and debate the application which were responded to by Planning Officers and the councils Head of Programme: Place.

#### RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet. In addition, it was agreed to request the installation of integrated bird and bat boxes as part of the development and that officers consider the proposals regarding letterboxes when submitted.

9. **DRAKES BOTTOM, DIRTY LANE, HAMBLEDON, WATERLOOVILLE, HAMPSHIRE. (CASE REFERENCE: 23/02924/FUL), PO7 4QT. DENMEAD**

Proposal Description: On land adjacent to Drakes Bottom Uplands Road (Dirty Lane), Denmead, PO7 4QT construction of 2no cabins for Tourist accommodation with associated access drive from Dirty Lane and parking area.

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including;

1. Page 163- Condition 4- change to the below
  4. Prior to commencement of development, details of hard and soft landscaping must be submitted to and approved in writing by the Local Planning Authority.

Hard landscaping details must include:

- Materials used for hard surfacing including access and parking areas.
- Boundary treatments and gates including height.
- Existing and Proposed ground levels

Soft landscaping details must include:

- Planting plans (including for hedgerow replanting)
- Size, density and Species
- Written specifications (including cultivation and other operations associated with plant and grass establishment)
- Implementation programme

Development must be carried out in accordance with the approved details.

Hard landscaping must be completed prior to the occupation of the tourist units.

Soft landscaping must be completed within the next planting season following the commencement of the development.

If, within a period of 5 years, any landscaping dies, becomes diseased or defective, replacement landscaping of the same species must be planted in the same location within the next planting season.

Reason: To ensure the landscaping revisions to accommodate the highway visibility splays include appropriate species and in the interests of the amenities and character of the area to minimise impact, and to ensure the works are completed within an acceptable timeframe.

2. Page 166- Condition 13- change to the below
  13. Within the extent of the red line boundary along the northern boundary of the site, no existing hedging or vegetation shall be removed at all without the confirmed written consent of the Local Planning Authority

Reason: To ensure a satisfactory visual relationship between the new development and the wider area.

3. Page 166- Addition of condition 14 as below

14. Prior to the commencement of works hereby approved, details of cycle storage on site shall be submitted to an approved in writing by the Local Planning Authority. The storage shall then be installed prior to the occupation of the accommodation and retained for the lifetime of the permission.

Reason: To ensure sustainable means of transport from the site.

During public participation, Neil Rusbridger spoke in objection to the application, Margaret Bentley and Paul Benfield spoke in support of the application and Councillor Andreoli on behalf of Denmead Parish Council spoke against the application and answered members' questions.

The committee proceeded to ask questions and debate the application.

RESOLVED:

The committee voted against the recommendation to permit planning permission and instead voted to refuse permission for the proposal. In reaching this decision they raised the following material planning matters which weighed in favour of refusing planning permission. The application was contrary to the NPPF, and Local Plan Policies DS1, and MTRA4, due to its unsustainable location and poor connectivity. Additionally, it failed to meet policies DM15, DM16, and DM23 by negatively impacting the visual character of the area due to its siting, layout, and appearance.

10. **MEADOWS END, 7 HEATHCOTE PLACE, HURSLEY, WINCHESTER, HAMPSHIRE. (CASE REFERENCE: 24/00224/HOU) BADGER FARM & OLIVER'S BATTERY**

Proposal Description: Extension to Garage Block and Loft Development to form Ancillary Office and Habitable Space.

The application was introduced. Members were referred to the update sheet which advised that the case officer had changed to Cameron Taylor.

During public participation, David Jowsey spoke in objection to the application, and Anna Budge spoke in support of the application and answered members' questions. A statement was read out on behalf of Hursley Parish Council which objected to the application

The committee proceeded to ask questions and debate the application.

RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report.

11. **PLANNING APPLICATIONS (SDNP ITEM 12 AND WCC ITEM 13 AND UPDATE SHEET REFERS)**

12. **OLD GREEN FARM, WHITES HILL, OWSLEBURY, SO21 1LT. (CASE REFERENCE: SDNP/23/04050/FUL). UPPER MEON VALLEY**

Proposal Description:(AMENDED DESCRIPTION) Associated operational development pursuant to application reference SDNP/22/05927/PA3R, together with the insertion of mezzanine floors to apart-hotel units and the re-cladding of the remaining part of the existing barn to create enclosed storage for the holding.

The application was introduced. Members were referred to the update sheet which provided additional information regarding an additional condition as set out below.

Condition 6. The actions outlined within the ecosystems services statement (received 26.09.2023) shall be implemented within one month following the completion of the development hereby approved or, in the case of soft landscaping, during the next available planting season following the completion of the development, and thereafter retained.

Reason: To ensure an overall positive impact on the ability of the natural environment to contribute goods and services, in accordance with policy SD2 of the South Downs Local Plan.

During public participation, Louise Taylor spoke in objection to the application, and Jacob Goodenough spoke in support of the application and answered members' questions.

**RESOLVED**

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet.

13. **WORKSHOP, EAST STOKE FARM, OLD STOKE ROAD, STOKE CHARITY, WINCHESTER. (CASE REFERENCE: 23/01890/FUL). WONSTON & MICHELDEVER**

Proposal Description: Conversion of existing Agricultural Building into two residences; partial demolition to form a carport. (Revised plans).

The application was introduced and during public participation, Michael Collett spoke in objection to the application, and Lloyd Exley spoke in support of the application and answered members' questions.

The committee proceeded to ask questions and debate the application.

**RESOLVED**

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report.

14. **LAND AT GREENBANK HOLE LANE, CURDRIDGE. (CASE REFERENCE: TPO2349) WHITELEY & SHEDFIELD**

Proposal Description: Tree Preservation Order 2349 (Land At Greenbank Hole Lane Curdridge).

The application was introduced. Members were referred to the update sheet which advised that photographs had been submitted to the council by the objectors which would be included in their presentation to the committee.

During public participation, Annette Mearns spoke in objection to the application and answered members' questions.

The committee proceeded to ask questions and debate the order.

**RESOLVED**

That, having taken into consideration the representation received, Tree Preservation Order 2349 be confirmed, as set out in the report.

The meeting commenced at 09:30 and concluded at 3pm.

Chairperson

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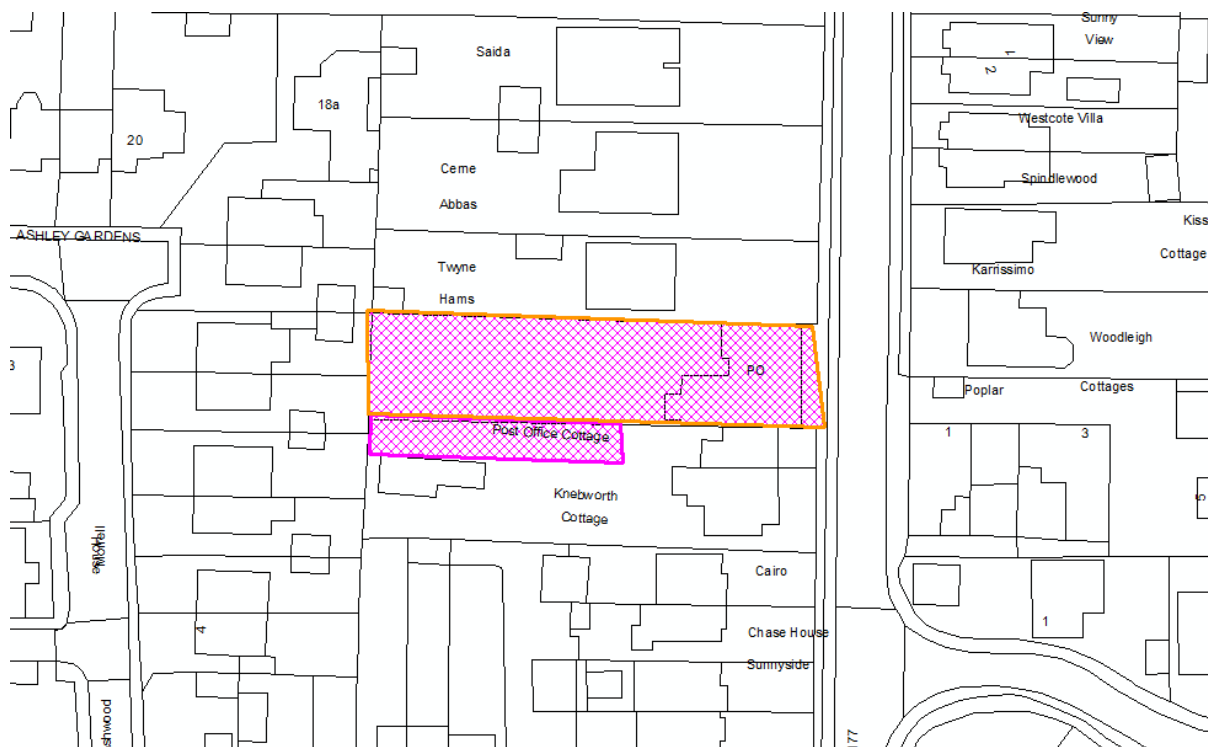
## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 23/02061/FUL  
**Proposal Description:** Demolition of existing buildings and erection of four dwellings, together with access, parking, and associated works  
**Address:** Post Office Winchester Road Waltham Chase Hampshire  
**Parish:** Shedfield Parish Council  
**Applicants Name:** Mr Andy Phipps  
**Case Officer:** Rose Chapman  
**Date Valid:** 12 October 2023  
**Recommendation:** Permit  
**Pre Application Advice** Yes

### Link to Planning Documents

[Link to page – enter in reference number 23/02061/FUL](#)

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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### Reasons for Recommendation

The development is recommended for permission as it is considered that it will not result in negative impacts on the character of the area in accordance with Policies DM15 and DM 16 of the LLP2, the loss of the retail/commercial unit is not contrary to Policy CP6 and currently this loss benefits from a planning permission agreed in 2022, and would not harm neighbouring residential amenity in accordance with policy DM17 of the LPP2

### General Comments

**Case No:** 23/02061/FUL

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

The application is reported to Committee due to the number of Objections received contrary to the Officer's recommendation.

### **Amendments to Plans Negotiated**

Amendments were accepted on the 18.01.2024 to revise the design of the proposed dwellings and included contaminated land and ecology reports. These were re-advertised for 21 days. The design changes were to the rear dwellings where the eaves were lowered to reduce their height and mass.

Additional ecology reports were submitted on the 30<sup>th</sup> May and 8<sup>th</sup> July which amended the layout to include a reptile mitigation area on site. As these comprised technical data that did not significantly impact the design and layout of the site this change was not readvertised.

### **Site Description**

The application site is located within the centre of Waltham Chase fronting onto Winchester Road. The site is approximately 0.1ha in size and currently comprises a building on the frontage which was previously in use as a retail unit including a post office and a residential unit with a garden area to the rear. The garden area is substantially overgrown with vegetation. The land rises from the road frontage to the western boundary by approximately 1.0m.

The main building on the site is two storeys in height and extends further to both the front and rear of the adjacent property to the south, Post Office Cottage, with its mid part immediately abutting this property such that from the street view it looks to be attached. The main building is linked via a flat roofed extension on its northern side to a single storey structure.

The building on the site comprises the ground floor shop with a separate dwelling set over both ground and first floors. The Post Office closed in October 2021 and the apartment was vacated in May 2022.

The general area is residential with neighbouring dwellings to the north, south and west of the site.

### **Proposal**

The application is for the demolition of the existing buildings on the site and redevelopment comprising 4 dwellings. A pair of two storey, two bedroomed semi-detached dwellings will be located on the site frontage set back from the current building position to be in line with the neighbouring dwelling and extending less to the rear. Four parking bays to serve these properties are provided beyond their rear boundaries. Two three bedroomed, two storey detached properties with integral garages and one driveway parking space are proposed to be located to the rear of the site. Vehicular access to the detached properties and the parking for the two

**Case No: 23/02061/FUL**



WINCHESTER CITY COUNCIL  
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bedroom semi-detached units is to run along the northern site boundary. A reptile mitigation area is also included to the rear of the site behind the rear two dwellings.

A previous prior notification application (see Planning History below) allows for the conversion of the building from commercial and residential to purely residential under Part 3 Class MA of the Town and Country General Permitted Development Order 2015 (GPDO).

### **Relevant Planning History**

22/02250/PNCOU - Existing buildings (mixed use A1 + C3) to be converted to C3 use via a rearrangement of the existing cottage into a single family dwellinghouse. – Prior approval not required

#### **Consultations**

##### Service Lead – Built Environment (Urban Designer) –

- Objection

##### Service Lead – Engineering (Drainage) -

- No Objection subject to condition (6)

##### Service Lead – Sustainability and Natural Environment (Ecology) –

- No objection subject to condition (7 and 16)

##### Service Lead – Public Protection (Environmental Health) –

- No Objection subject to condition (5,11 and 14)

##### Hampshire County Council (Highway Authority) –

- No objection

##### Natural England -

- No objection subject to condition (10)

##### Environment Agency

- No response

##### Southern Water -

- No objection

### **Representations:**

#### **Shedfield Parish Council – objection**

- Unacceptable parking
- Unacceptable access
- Gap between Post office cottage is too small
- Existing building should be retained
- Properties to the rear should be bungalows
- Overbearing

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- insufficient amenity areas
- drainage
- contaminated land
- overlooking
- loss of light
- over development of the site
- impact on ecology

11 Objecting Representations received from different addresses citing the following material planning reasons:

- contaminated land
- insufficient turning space
- inappropriate access
- external lighting impacts
- construction disturbance
- design is not appropriate
- loss of community facility
- too dense
- plans do not accurately show boundaries/location of neighbouring buildings
- overlooking
- loss of light
- retained tree is dying and needs removal
- over development of site
- flooding/drainage
- rear dwellings are too big
- insufficient parking
- highways impacts
- retention of existing building has not been explored.

**Relevant Government Planning Policy and Guidance**

National Planning Policy Framework (NPPF) (December 2023)

Section 2 Achieving Sustainable development.

Section 4 Decision Making

Section 5 delivering a sufficient supply of homes.

Section 8 Promoting healthy and safe communities.

Section 9 Promoting sustainable transport.

Section 11 Making effective use of land.

Section 12 Achieving well designed places.

Section 14 Meeting the challenge of climate change, flooding and coastal change.

Section 15 conserving and enhancing the natural environment.

National Planning Practice Guidance

Appropriate Assessment

Climate Change

Consultation and pre-decision matters

Design: process and tools

Environmental Impact Assessment

Flood risk and coastal change

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Light Pollution

Natural Environment

Open space, sports and recreation facilities, public rights of way and local green space

Planning Obligations

Use of planning conditions

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1).

- DS1 – Development Strategy and Principles
- MTRA1 – Development Strategy for Market Towns and Rural Area
- MTRA2 – Market Towns and Larger Villages
- CP1 – Housing Provision
- CP2 – Housing Mix
- CP6 – Local services and facilities
- CP10 – Transport
- CP11 – Sustainable Low and Zero Carbon Built Development
- CP13 – High Quality Design
- CP14 – Effective Use of Land
- CP15 – Green Infrastructure
- CP16 - Biodiversity
- CP17 – Flooding

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM1 Location of new development
- DM2 – Dwelling Sizes
- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking
- DM21 – Contaminated land

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Residential Parking Standards December 2009

Affordable Housing SPD February 2008 with amendment 2012.

Shedfield Village Design Statement

Other relevant documents

Climate Emergency Declaration Carbon Neutrality Action Plan 2020 – 2030

Statement of Community Involvement 2018 and 2020

Biodiversity Action Plan 2021

Waste Management Guidelines and Bin Arrangements

Position Statement on Nitrate Neutral Development – February 2020

Shedfield Village Design Statement

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.

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Nature Emergency Declaration.

Statement of Community Involvement 2018 and 2020

## **Planning Considerations**

### **Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 47 of the National Planning Policy Framework (NPPF, 2021) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The development is situated within the settlement boundary of Waltham Chase where the principle of development is acceptable, provided that it is in accordance with the policies of the Development Plan and unless material planning reasons indicate otherwise.

Policy CP2 requires that new residential development be a majority of 2 and 3 bed dwellings. The proposal would see 2no 2 bed dwellings and 2no 3 bed dwellings. Therefore, the proposal is acceptable in this regard.

The application site has been empty for some time, and has a previous planning permission agreed via the prior notification process to change the existing building into a single dwelling under Schedule 2, Part 3, Class MA of the Town and Country Planning general Permitted Development Order 2015 (as amended) (GPDO) (see Planning History) The prior notification approval allows for the conversion of the commercial premises to residential without the need for full planning permission. The prior notification process grants planning permission for such changes of use under national permitted development rights, subject to limitations and conditions. In this case the key relevant issue in determining the extant permission was whether the building had been vacant for a period of at least three months prior to the application under Class MA being submitted. In determining the application the Council was satisfied that this requirement was met (the retail/post office was permanently closed in October 2021 and the apartment was vacated in May 2022 with the application being submitted in October 2022) and accordingly the change of use could proceed without consideration of the local plan policies which seek to control the loss of commercial uses.

This approved change of use is considered to have significant weight in the consideration of the current application as it provides a formally agreed, lawful position whereby the retail floorspace can be converted to residential subject to the works to facilitate this being completed within three years of the prior approval date (by 15.11.2025)

Implementing the conversion of the building remains a lawful fall-back option should this current application be refused. Case law has confirmed that a fallback position can be a material consideration in determining planning applications subject to there being a real prospect of the change of use taking place. This does not mean it must be probable or likely, a possibility will suffice. In this case there is no evidence to suggest that the existing retail floorspace cannot be converted to residential use

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under the extant planning permission and therefore the extant change of use permission should be considered possible and accordingly as a fallback option. If implemented the prior notification approval would disengage policy CP6.

Notwithstanding, the change of use that has been secured, the NPPF requires that the Local Plan is the starting point of an assessment. Furthermore, the loss of the commercial use has been raised as a concern. Therefore, it is considered to be appropriate to consider the loss of the commercial use under Local Plan Policy.

Policy CP6 addresses local services within settlements requiring that the loss of services and facilities would not result in harm to those in the area. When assessing the loss of a facility the following are considered:

- Whether the site is no longer required as the facility has been relocated or is not longer needed in the locality
- The site has no reasonable prospect of an alternative use that would benefit the community
- Whether the loss of the facility would cause harm to the neighbouring area
- Whether the loss of the facility would have a detrimental impact on the viability or vitality of the settlement
- Whether the loss is part of an agreed plan to provide local improvements.

In this instance the building on the site has been empty for some time and was on the market for other business uses for over 6 months before an alternative was sought. It can be concluded from this that there is no reasonable prospect of an alternative commercial or community use being found. While the loss of the site would reduce the commercial offering in the area there are other shops available within the village and Bishops Waltham and Swanmore are close by which provide local services. As such it is not considered that the proposal would result in harm to the vitality and viability of Waltham Chase and therefore the loss of the shop is not considered to result in harm to the Village and is acceptable under policy CP6.

Policy CP14 addresses the effective use of land requiring higher densities in areas considered appropriate for development, such as within settlement boundaries, In this instance there is an existing dwelling and extant permission for a single dwelling unit on the site. The proposal would introduce an additional 3 dwellings thereby making the best use of urban land.

The principle of the proposal is therefore considered to be acceptable when assessed against fallback position and policies CP6 and CP14.

**Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

**Impact on character and appearance of area**

The proposal would see 4 dwellings on the site, a pair of semi\_detached to the front and 2 detached properties to the rear.

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There is a mixed character within the area with different architectural styles and finishes. There are also examples of back land development within the village. As a result there is little consistent approach to plot size or design throughout the village or within the immediate area.

The site would be effectively sub divided with the dwellings to the front taking a traditional cottage vernacular similar to other developments along Winchester Road. These would replace the existing building. It is noted that concerns have been raised in relation to retaining and refurbishing the existing building. However, it is considered that the existing building is positioned close to the road and is a deep building having an overbearing presence to the neighbour to the south. The proposal would replace this with 2 dwellings set back from the road with their front elevation being in line with the neighbouring dwellings to the south and their depth being reduced when compared to the existing, resulting in significantly less mass. As a result, the proposal would create an enhancement of the street scene to the benefit of the character of the Village. It is therefore acceptable that the existing building is demolished and replaced.

Further concerns have been raised in regard to the proposed separation between the proposed dwellings and Post Office Cottage. This is currently proposed at approximately 0.5m. The urban designer raised that this would be barely enough for maintenance and should either be increased or removed to form a terrace with Post Office Cottage. While it is acknowledged that the proposed gap would be narrow, this space would still allow for maintenance and the semi-detached nature of the frontage dwellings proposed respects the character of the area.

Therefore, while a larger separation distance would be beneficial, the current proposal is not considered to be harmful to the extent that a reason for refusal could be defended. In addition, the proposal would result in enhancements between the neighbouring dwellings to the south and in the street scene.

In terms of design the front 2 dwellings would be traditional in form with a ridge that would be approximately 0.7m higher than the existing building. While the increase is acknowledged, the proposed dwellings would be set back in the street scene and therefore this is considered to be acceptable.

To the rear 2 detached dwellings are proposed with garages. Revised plans have been submitted to lower the eaves of the proposed dwellings to reduce the mass and bulk of the proposal. As these would be to the rear of the site these would afford limited views from public areas. It is also noted that there is a 1m rise from the front boundary to the rear of the site but these detached dwellings would sit lower than the proposed frontage dwellings and will not be overly visible in the street scene. As such the design is considered to be acceptable.

It is considered appropriate to have details of materials and landscaping reserved via condition (8 and 9) to ensure that the proposal would blend with the local vernacular.

Therefore the proposal complies with policies CP13, DM15, DM16 and DM17.  
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**Development affecting the South Downs National Park**

The application site is located 2km (1.2 miles) from the South Downs National Park

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2023. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

**Historic Environment**

No Impact, the works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

**Neighbouring amenity**

The site is surrounded by residential neighbours.

To the north of the site is Twynehams, a single storey dwelling set back from the road frontage with its front elevation further back from the road than the rear of the semi-detached properties proposed on the site. There are two existing side windows that serve this dwelling that face the application site. These would face onto the proposed access and garden areas, not directly onto any of the proposed development, as such it is not considered that the proposal would result in harm to the residential amenities of this neighbour by way of overlooking, overbearing or loss of light.

To the South of the site is Post Office Cottage and Knebworth Cottage. Due to the layout of the area, there is, as existing, a level of mutual overlooking due to the close layout and density in the area. Plot 4 would have first floor windows that would face the garden areas of both these neighbours. However, due to the distance (approximately 26m from Post Office Cottage and 25m from Knebworth Cottage) and notwithstanding that the two detached properties will be on higher land, it is not considered that the proposal would result in harm by way of overbearing, overlooking or loss of light. Plot 4 would have a single side window on the ground floor to serve the kitchen. It is not considered that the proposal would result in harmful overlooking of the neighbours to the south.

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To the west of the application site are numbers 8-12 Ashley Gardens. Concerns have been raised in regard to overlooking, overbearing and loss of light. It is noted that the urban designer has raised similar concerns that the proposed distances would likely result in overlooking and overbearing. However, the proposed rear dwellings on the application site would be located approximately 20m from the rear elevations of these neighbours, and, as mentioned previously, there is a level of mutual overlooking as existing.

Whilst it is acknowledged that the proposed relationship is closer to the neighbouring properties to the west, there is a general character of approximately 10m-20m between the facing rear walls of properties within the area. Therefore, a distance of approximately 20-23m is considered to be acceptable.

It is therefore not considered that the proposal would result in harmful overlooking or overbearing to these neighbours due to the distances involved.

The application site is located directly to the east of the neighbours to the west and therefore it is likely that the proposal would result in loss of morning light to these neighbours however this would be for a limited period. The majority of the neighbouring properties would have more than 50% of their property with full access to light for more than 50 % of the day. As such it is not considered that the proposal would have a harmful impact on these neighbours.

The application site is located along Winchester Road and in close proximity to residential neighbours as such a construction management plan is considered to be appropriate to condition (5).

Therefore, the proposal complies with policy DM16.

### **Sustainable Transport**

The application would include the introduction of a revised access onto Winchester Road. Visibility splays have been measured and acceptable visibility is possible, as such a condition requiring that these are laid out and retained thereafter is considered to be appropriate (13).

Concerns have been raised in regard to the width of the access. The proposed access is approximately 3.6m wide and would allow for a single car to access and egress at a time. Given the low level of development and the limited length of the access road, 30m, it is not considered that the proposal would result in a significant uplift in traffic generation or result in vehicles accessing or egressing the site unduly blocking Winchester Road and therefore the proposed access is considered to be acceptable. The Highways Engineer raised no objection.

8 parking spaces have been proposed which is in accordance with the Residential Parking SPD. As the application site is located in a village with limited bus services it is considered appropriate for the parking spaces to be retained via condition (15).

The Highways Engineer has raised refuse collection as an issue for consideration. It is considered that the proposal would have sufficient space and visibility for bins to be collected from the site entrance without blocking visibility splays. As stated above  
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a condition (13) has been recommended requiring the provision and retention of visibility splays to prevent issues with highway safety.

Therefore the proposal complies with policy CP10 and DM18.

**Ecology and Biodiversity**

The proposal is for Development within, bordering or in close proximity to a European Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) and is for overnight accommodation affecting Nitrates.

The proposed development is within Winchester District where foul water is distributed into the European designated areas Solent SPAs/Ramsar sites via water treatment plants. In accordance with advice from Natural England and as detailed in Policy CP16 of the Winchester City Council Local Plan Part 1 Joint Core Strategy a net increase in housing development within Winchester District is likely to result in impacts to the integrity of those sites through a consequent increase in Nitrates. A nitrate calculation has been conducted in relation to this. It has been demonstrated that the proposal would generate a surplus of nitrates and therefore mitigation is required. As such a Grampian condition (condition 10) in line with the Winchester City Council Position Statement on Nitrate Neutral Development has been agreed to secure appropriate mitigation prior to occupation.

The Solent coastline provides feeding grounds for internationally protected populations for overwintering waders and wildfowl and is also extensively used for recreation. Natural England has concluded that the likelihood of a significant effect in combination arising from new housing around the Solent cannot be ruled out. Applications for residential development within 5.6 km of the Solent SPAs will need to propose measures to mitigate the direct impacts of their development on the Solent SPA. This can be done by the provision of a financial contribution either before planning permission is granted or by entering into a s106 agreement before planning permission is granted with an undertaking that the payment will be made before the development is implemented.

The proposal would provide 2 x 2 bed dwellings and 2 x 3 bed dwellings requiring a payment of £2946 to comply with policy CP16. This payment has been received and the relevant legal agreements have been returned.

The development therefore complies with The EU Habitats Directive and Conservation of Habitats & Species (Amendment) Regulations 2011 and contains an Appropriate Assessment as Competent Authority (if required).

The site has been allowed to grow over for some time creating priority habitat. As such an ecological survey has been submitted that has raised that the site has potential for badger, reptiles and bird. Mitigation measures in the form of bat bricks, bird bricks and hedgehog holes are proposed and are considered to be acceptable. In regard to reptiles, it is proposed to create a small receptor area on the site. This is shown on the amended site plan with access. Further details on the management and monitoring of the site is required and therefore a condition (7) to secure monitoring and management of the receptor site has been recommended.

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Therefore, the proposal complies with policy CP15 and CP16.

**Appropriate Assessment.**

The application will have a likely significant effect in the absence of avoidance and mitigation measures on European and Internationally protected sites as a positive contribution of 5.11 Kg/N/year is made. The authority has concluded that the adverse effects arising from the proposal are wholly consistent with, and inclusive of the effects detailed in the Winchester City Council Position Statement on nitrate neutral development and the guidance on Nitrates from Natural England.

The authority's appropriate assessment is that the application coupled with a mitigation package secured by way of a Grampian condition complies with this strategy and would result in nitrate neutral development. It can therefore be concluded that there will be no adverse effect on the integrity of the designated sites identified above in this regard.

This represents the authority's Appropriate Assessment as Competent Authority in accordance with requirements under Regulation 63 of the Conservation of Habitats and Species Regulations 2017, Article 6 (3) of the Habitats Directive and having due regard to its duties under Section 40(1) of the NERC Act 2006 to the purpose of conserving biodiversity. Consideration of the Ramsar site/s is a matter of government policy set out in the National Planning Policy Framework (2023).

Under Reg 63(4) of the Habs Regs the Council considers that is not appropriate, to take the opinion of the general public, and have not therefore further advertised the Appropriate Assessment.

**Sustainability**

Developments should achieve the lowest level of carbon emissions and water consumption which is practical and viable. Policy CP11 expects new residential developments to achieve Level 5 for the Energy aspect of the Code for Sustainable Homes and Level 4 for the water aspect. Condition 3 secures the submission of design-stage data prior to the commencement of development to ensure this is complied with.

Condition 12 then requests as-built data prior to the occupation of the units to ensure that the requirements of the design stage data have been met.

The proposal therefore complies with policy CP11 of the Local Plan Part 1.

**Sustainable Drainage**

The proposal is partially located within flood zone 2 to the front of the site. As such an FRA and drainage plan has been submitted.

The proposal would connect to the existing main sewer which is considered to be acceptable. Southern Water have commented regarding the requirements of construction in relation to the foul sewer. The drainage plans submitted shows that the proposal would comply with these requirements, as such the foul water removal is considered to be acceptable.

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In terms of surface water removal, a drainage plan and Flood Risk Assessment has been submitted. These indicate that the site is at low risk of flooding and an attenuation tank is proposed that would connect to the exiting surface water ditch. Further detail is required and it is considered appropriate for this to be secured via condition (6).

Therefore the proposal complies with policy DM17 and CP15.

**Contaminated Land**

The application site was formally a petrol station, as such a contamination report has been submitted. It is likely that the site includes underground tanks and the report lays out the risks to future occupiers in terms of contaminants concluding that these risks are low. Investigations are proposed in regard to the potential fuel storage tanks once the site has been demolished and contamination specialists are suggested to supervise the ground works. This is considered to be acceptable. Notwithstanding this, further reports would be required and are secured via conditions (4, 11 and 14)

The proposal therefore complies with policy DM19.

**Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

**Planning Balance and Conclusion**

The proposal would see the replacement of the existing building with 4 dwellings, 2 to the front and 2 to the rear. The site is in a location that has good access to facilities and is therefore in a location which supports a higher density of development than that existing on the site. It is also considered that the design of the proposal responds appropriately to the general character of the area. Accordingly, the proposal accords with Policy CP14 which seeks to ensure that land is used effectively.

The previous planning permission for the conversion of the retail floor area to a residential use which was approved under the prior notification process is a fallback option which could be implemented should this application not be permitted. Notwithstanding this, the proposal has been considered against and found to comply with policy CP6.

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The amended design is considered to be acceptable. Though the additional dwellings to the rear would be closer to the neighbouring properties to the west it is not considered that this would result in harm that would justify a reason for refusal.

The proposed dwellings to the front would enhance the street scene and the relationship with the dwellings to the south of the site.

The proposal would provide sufficient access and parking to prevent harm to highways users.

Ecological enhancements have been proposed including a reptile mitigation area. The applicant has agreed to a Grampian condition and has paid the SRMP.

The application is therefore in accordance with policies MTRA2, CP2, CP13, CP14, CP15, CP16 of the Local Plan Part 1 and DM1, DM2, DM15, DM16, DM17, DM18 of the Local Plan Part 2.

### **Planning Obligations/Agreements**

In seeking the planning obligations the Local Planning Authority has had regard to the tests laid down in para 57 of the NPPF which requires the obligations to be necessary; relevant to planning; directly related to the proposed development; fairly and reasonably related in scale and kind to the proposed development and reasonable in all other respects.

### **Recommendation**

PERMIT subject to the following conditions:

#### **Conditions**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development hereby approved must be constructed in accordance with the following documents and drawings:  
'Transport Assessment' by Nick Culhane submitted to the Local Planning Authority 31.08.2023  
'Foul and Surface Water Drainage Proposals' by Aqua Callidus dated 27th October 2023  
Document ref: 000398 - Phase 1 Geoenvironmental report by EPG  
'Preliminary Ecological Appraisal' by Ecosupport submitted to the Local Planning Authority 30.01.2024  
'Flood Risk Assessment' by Aqua Callidus dated 05.02.2024  
'Phase 2 surveys and mitigation' by Ecosupport submitted to the Local Planning Authority 05.07.2024

Drawing Number: 23/322/108 rev P3 - Drainage Plan

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Drawing Number: 23/322/110 rev P1 - Location Plan  
Drawing Number: 23/322/103 rev P3 - plot 4 plans and elevations  
Drawing Number: 23/322/102 rev P4 - plot 3 plans and elevations  
Drawing Number: 23/322/101 rev P3 - Plot 1 and 2 plans and elevations  
Drawing Number: 23/322/105 rev P3 - Site elevations  
Drawing number: 23/322/100 rev P5 - site plan

Reason: In the interests of proper planning and for the avoidance of doubt

Pre-commencement

3. Prior to the commencement of the development hereby permitted detailed information (in the form of SAP design stage data and a BRE water calculator) demonstrating that all homes meet the equivalent of Code 4 standard for energy and water (as defined by the ENE1 and WAT 1 in the Code for Sustainable Homes) shall be submitted to and approved in writing by the Local Planning Authority. The development shall be built in accordance with these findings.

Reason: To ensure a sustainable form of development consistent with the objectives of The National Planning Policy Framework 2023 and to accord with the requirements of Policy CP11 of the Winchester District Local Plan Part 1 - Joint Core Strategy.

4. Prior to the commencement of the development hereby permitted (or within such extended period as may be agreed with the Local Planning Authority), a scheme to deal with contamination shall be submitted to and approved in writing by the Local Planning Authority.  
The scheme shall conform to current guidance and best practice as set out in BS10175:2001 Investigation of potentially contaminated sites - code of practice and Contaminated Land Reports 7 to 11, or other supplementary guidance and include the following phases, unless identified as unnecessary by the preceding stage and agreed in writing by the LPA:
  - a) A desk top study and conceptual model documenting all the previous and existing land uses of the site and adjacent land;
  - b) A site investigation report documenting the ground conditions of the site and incorporating chemical and gas analysis identified as appropriate by the desk top study;
  - c) A remedial strategy detailing the measures to be undertaken to avoid risk from contaminants and/or gases when the site is developed and proposals for future maintenance and monitoring. Such scheme shall include nomination of a suitably qualified person to oversee the implementation of the works.

Reason: In order to secure satisfactory development and in the interests of the safety and amenity of the future occupants.

5. No development shall take place until a Construction Environmental Management Plan (CEMP) has been submitted to and approved by the Local Planning Authority, to include details of:

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- Development roles, contracts and responsibilities
- Public communications strategy including complaints procedure
- parking and turning of operative, construction and visitor vehicles
- loading and unloading of plant and materials
- storage of plant and materials
- programme of works (including measures for traffic management)
- all deliveries and building works which should only be carried out between the hours of 0800 and 1800 hours Monday to Friday and 0800 and 1300 hours Saturday and no time on Sundays or recognised public holidays
- provision of boundary hoarding and lighting including construction lighting
- details of proposed means of dust suppression and noise mitigation
- details of measures to be taken to prevent mud from vehicles leaving the site during construction
- the handling and management of construction waste
- Pest control
- A programme of phasing and demolition (if any) and construction work
- Protection of pedestrian routes during construction works
- Demolition and construction work will only take place in accordance with the approved method statement. Only the approved details shall be implemented during the construction period.

Reason: To ensure that development should not prejudice highway safety nor cause inconvenience to other highway users or result in any other significant harm to the amenity of local residents, or to existing natural features.

6. Prior to the commencement of development hereby approved, details of surface water drainage works shall be submitted to and approved in writing by the Local Planning Authority (LPA). Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system and the results of the assessment provided to the LPA. Where a sustainable drainage scheme is to be provided the submitted details shall:
- a) provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
  - b) provide a management and maintenance plan for the lifetime of the development to secure the operation of the scheme throughout its lifetime.
  - c) Prior to the occupation of the buildings hereby approved the surface water drainage works shall be carried out and shall thereafter be managed and maintained in accordance with the agreed management and maintenance plan.

Reason: To ensure satisfactory provision of surface water drainage in a sustainable way.

7. Prior to the commencement of development the following details shall be submitted to and approved in writing by the local planning authority:

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- how the reptile mitigation area is to be laid out and protected during construction works
- a maintenance and monitoring plan.

Works shall proceed in accordance with the approved details and thereafter retained in perpetuity.

Reason: To provide adequate mitigation and enhancement for protected species.

Pre-slab level

8. No development shall take place above Slab level until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include:

- Proposed finished levels or contours, in comparison to existing ground levels, including the damp proof course and ground floor of the proposed buildings, and the relationship to the levels of adjacent buildings, together with contours to be formed and earthworks to be undertaken;
- All boundary treatment;
- Hard surfacing materials;
- means of enclosure, including any retaining structures;

Soft landscaping works shall include:

- planting plans (for new trees, hedges and other planting);
- schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate;
- implementation programme.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs.

9. No development shall take place above the damp proof course until details and samples of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory appearance in the interests of the amenities of the area.

Pre-occupation

10. The development hereby permitted shall NOT BE OCCUPIED until:
- a) A water efficiency calculation which demonstrates that no more than 110 litres of water per person per day shall be consumed within the development, and this calculation has been submitted to and approved in writing by the Local Planning Authority
  - b) A mitigation package addressing the additional nutrient input arising from the development has been submitted to, and approved in writing by the Local Planning Authority. Such mitigation package shall address all of the

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

additional nutrient load imposed on protected European sites by the development and be implemented in full prior to first occupation and shall allow the Local Planning Authority to ascertain on the basis of the best available scientific evidence that such additional nutrient loading will not have an adverse effect on the integrity of the protected European Sites, having regard to the conservation objectives for those sites; and

- c) All measures forming part of that mitigation have been secured and submitted to the Local Planning Authority.

Reason: To accord with the Conservation of Habitats and Species Regulations 2017, and Policy CP11, CP16 and CP21 of the Winchester District Local Plan Part 1.

11. Prior to the occupation of the development hereby permitted, written verification that the contamination mitigation measures identified have been addressed, the report shall be produced by the suitably qualified person shall be submitted to and approved in writing by the Local Planning Authority. The report must demonstrate that the remedial strategy approved under condition 4 has been implemented fully, unless varied with the written agreement of the Local Planning Authority in advance.

Reason: In order to secure satisfactory development and in the interests of the safety and amenity of future occupants.

12. Prior to the occupation of the dwelling hereby permitted detailed information (in the form of SAP "as built" stage data and a BRE water calculator) demonstrating that all homes meet the equivalent of Code 4 standard for energy and water (as defined by the ENE1 and WAT 1 in the Code for Sustainable Homes) shall be submitted to and approved in writing by the Local Planning Authority. The development shall occupied in accordance with these findings.

Reason: To ensure a sustainable form of development consistent with the objectives of The National Planning Policy Framework 2023 and to accord with the requirements of Policy CP11 of the Winchester District Local Plan Part 1 - Joint Core Strategy.

13. Prior to occupation, visibility splays of 2.4m x 43m shall be implemented and be kept free of any obstruction exceeding 0.6m in height above the adjacent carriageway and shall subsequently maintained thereafter.

Reason: To ensure safe access and egress from the site and in the interest of Highways safety

General

14. Development shall cease on site if, during any stage of the works, potential contamination is encountered which has not been previously identified, unless otherwise agreed in writing with the Local Planning Authority. Works shall not recommence before an assessment of the potential contamination has been undertaken and details of the findings along with details of any remedial action required (including timing provision for implementation), has been submitted to and approved in writing by the Local Planning Authority. The



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development shall not be completed other than in accordance with the approved details.

Reason: In order to secure satisfactory development and in the interests of the safety and amenity of future occupants.

15. The parking spaces as shown in the drawing 23/322/100 rev P5 shall be implemented prior to the occupation of the development hereby approved and thereafter retained in accordance with the approved plan.

Reason: In the interests of highway safety and residential amenity.

16. The development shall be carried out in accordance with the measures, conclusions and recommendations set out within Preliminary Ecological Appraisal' and 'Phase 2 surveys and mitigation' by Ecosupport. Thereafter, the compensation measures shall be permanently maintained and retained in accordance with the approved details.

Reason: To provide adequate mitigation and enhancement for protected species.

Informative:

1. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out below, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:-

Local Plan Part 1 Joint Core Strategy: DS1, MTRA1, MTRA2, CP2, CP6, CP10, CP11, CP13, CP14, CP15, CP16, CP17

Local Plan Part 2: DM1, DM2, DM15, DM16, DM17, DM18, DM21

3. In accordance with paragraph 38 of the NPPF Winchester City Council (WCC) take a positive and proactive approach to development proposals focused on solutions. WCC work with applicants/agents in a positive and proactive manner by;
- offering a pre-application advice service and,
  - updating applications/agents of any issues that may arise in the processing of their application and where possible suggesting solutions

WINCHESTER CITY COUNCIL  
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Appendix 1



20/02/2024

Rose Chapman  
Case Officer  
Planning Department  
Winchester City Council

Dear Rose

**Re: 23/02061/FUL** – Demolition of existing buildings and erection of four dwellings, together with access, parking, and associated works; Post Office, Winchester Road, Waltham Chase

Shedfield Parish Council **objects** to this application.

The applicant, Alderbury Homes, sent a representative to a Shedfield Parish Council (SPC) planning meeting which was also attended by several residents, mainly those very close to the site. The concerns of the residents were listened to and amended plans were to be submitted. However, any amendments have been minimal, consisting of slightly lowering the roof height of the two properties at the back of the site, that directly back on to the gardens of houses in Ashley Gardens. Unfortunately, none of the other concerns were addressed and for this reason SPC objects to the amended application.

The Winchester City Council Urban Design Officer Report of 24<sup>th</sup> October 2023 raised several concerns, which remain unaddressed. SPC has the following comments:

1. Vehicles - The Highways technical report prepared for Alderbury Homes does not reflect the past use for parking, implying it was regularly and constantly used by visitors to the store. This was not the case as it was not regarded as a safe place to park and vehicles had to park partly on the pavement, which caused congestion particularly when a bus or HGV wanted to pass on Winchester Road.
2. The driveway to the rear units does not appear to be wide enough and, at over 18m in length, the private driveway needs to be a minimum width of 5m for the first 6m and include a passing place. It should also have a clear safe route for pedestrians and cycles. The rear properties have parking for one vehicle plus a garage, which will mean having to move cars in and out; will encourage other parking solutions and will leave insufficient parking for visitors or deliveries. This cramped appearance has happened elsewhere in

Shedfield Parish Office, Upper Church Road, Shedfield, Southampton, Hampshire SO32 2JB

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WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

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the village resulting in cars being parked in the neighbouring lanes and estates, causing problems in other locations.

3. Gap with Post Office Cottage – The gap should either be cojoined as existing, or set further apart, to enable passage to the rear garden and for maintenance. A small gap would be at risk of becoming a haven for rubbish, wild plants and rodents.
4. The existing building should be retained and refurbished, unless there is a robust argument explaining why building new, as opposed to full retention or even part retention, is the only option. This is a long-standing property of importance to the street scene of Waltham Chase.
5. The two properties at the rear have had their height reduced. Advice from WCC was that according to the Shedfield Design Statement, proposed development should not be taller than surrounding development. The area around the site is predominantly 1 and 2 storeys, and therefore the original proposal for 3 storeys should be reduced to 2 storeys. SPC appreciates that the roof height has been lowered but would prefer to see bungalows at the rear in keeping with nearby properties; and being more in keeping with properties built in back gardens backing on to neighbouring properties. (Such as the new properties in Hornbeam Road being bungalows which back on to the bungalows of Forest Close).
6. The mass and height of the proposed dwellings to the rear could have an overbearing impact to Knebworth Cottage, the property at the south side.
7. There is little amenity area for all properties proposed and there should be a planting plan. Any hedging should be retained.
8. There should be assurances that the development will be safe from surface water flooding and that there is no increase in flood risk elsewhere.
9. As these premises have previously been used as a garage and petrol station, the ground should be checked for possible contamination. This has been highlighted by Environmental Health and reports should be obtained prior to any development.

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10. The windows of the rear properties look directly into the windows of the homes in Ashley Gardens and will cast shadows and cause loss of light in the properties in Ashley Gardens. They will give a cramped appearance and impact on the private enjoyment of the properties in Ashley Gardens.
11. The gardens at present are in a neglected state and the current wildlife, including badgers, hedgehogs, bats, frogs and newts should be protected. There should be at least a bat survey carried out, especially if the Old Post Office Building is their home and it were to be demolished.

In addition to the above, there are a high number of valid resident objections, which have not been addressed. Due to the number of objections, and our concerns as highlighted above, Shedfield Parish Council request that this application go to WCC Planning Committee.

Best wishes

Ailsa Duckworth, Assistant Clerk  
On behalf of Shedfield Parish Council

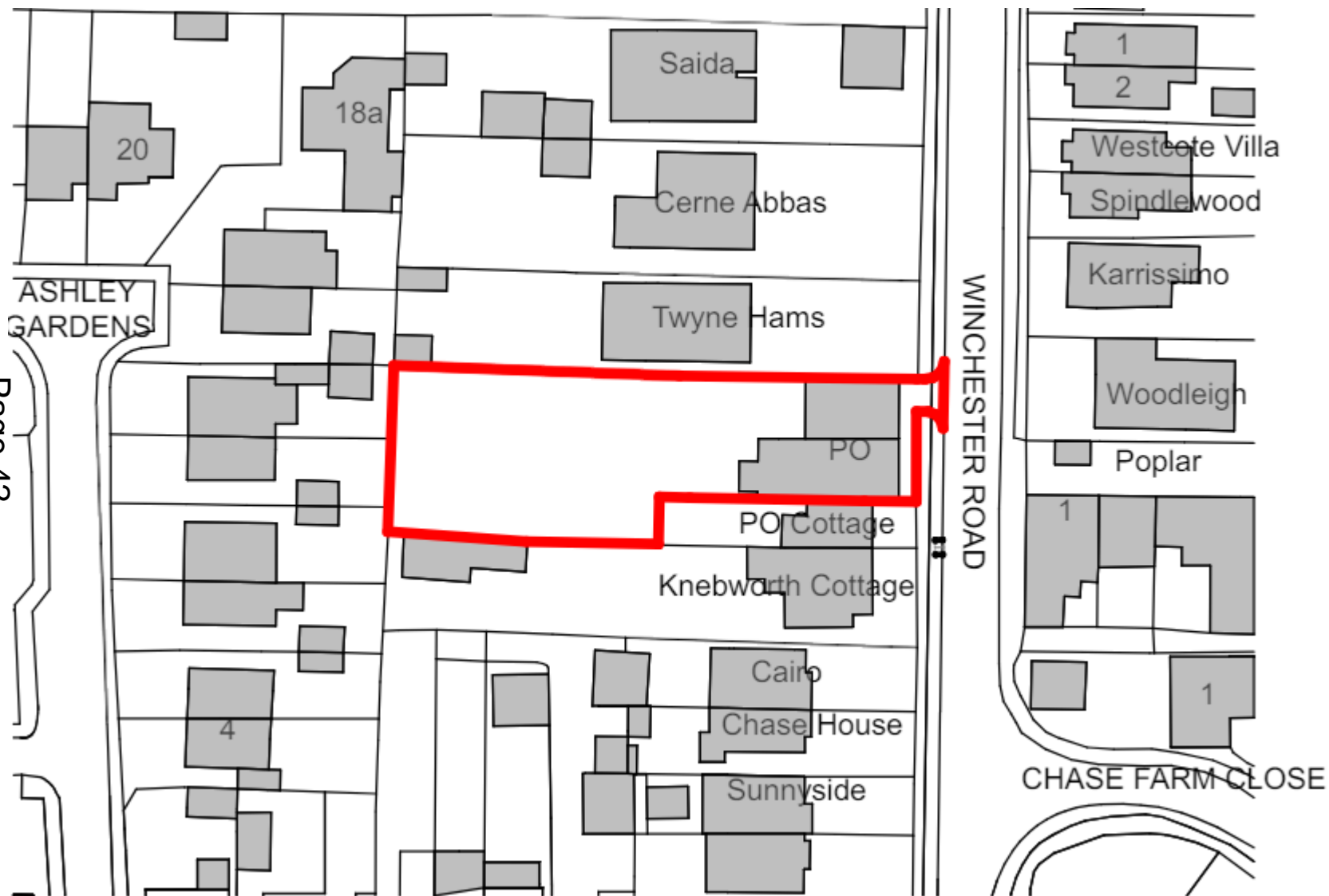
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# 23/02061/FUL

## Post Office, Winchester Road, Waltham Chase Hampshire

*Demolition of existing buildings and erection of four dwellings, together with access, parking, and associated works*







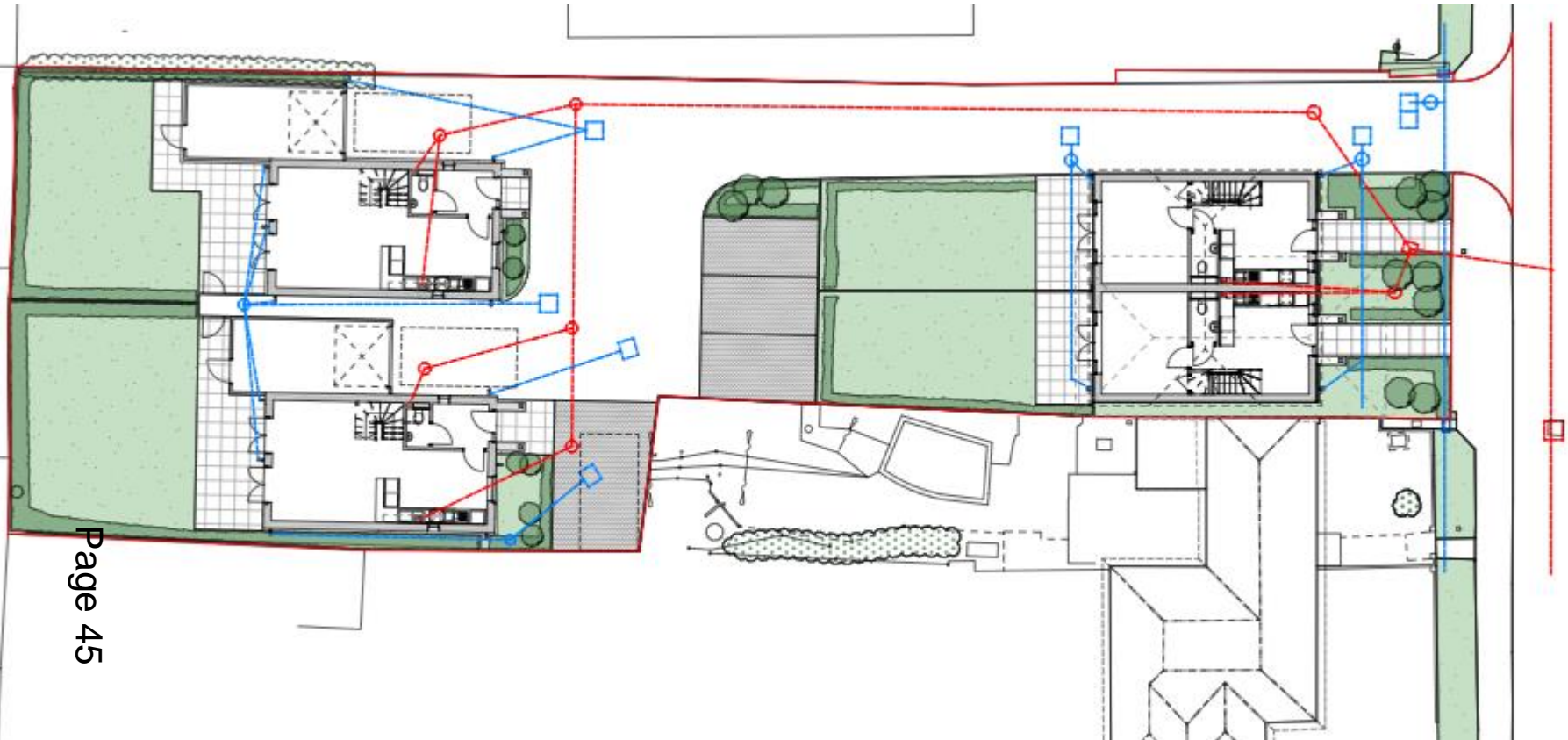






Proposed Site Plan

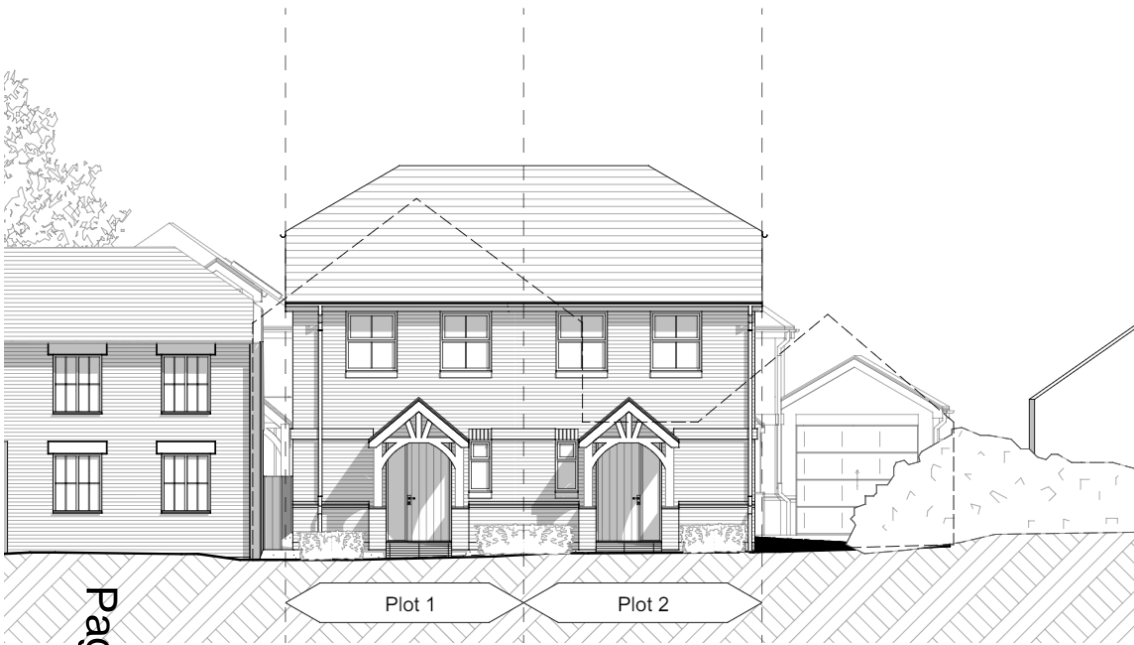




Proposed Drainage Plan

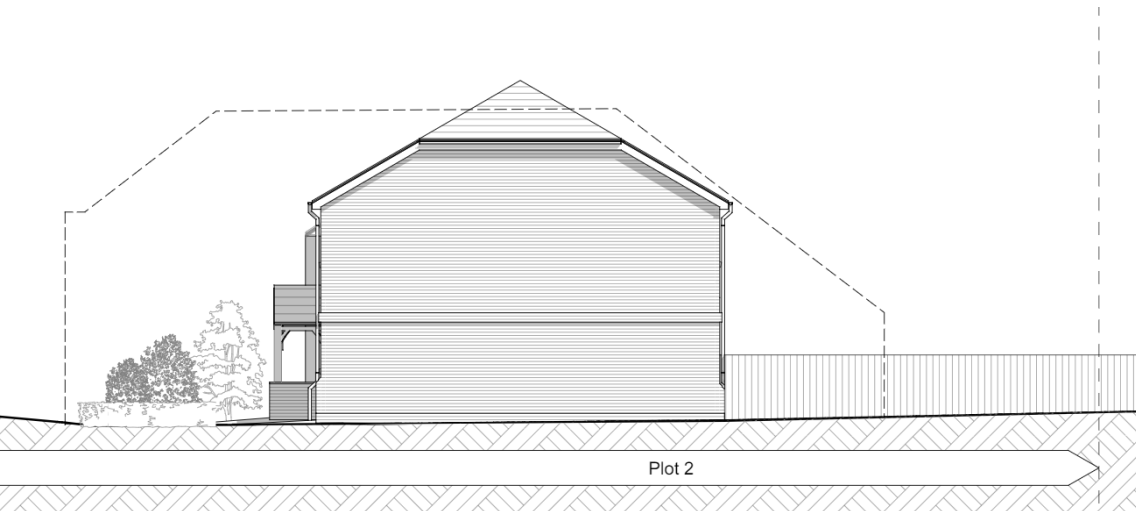
Plots 1 and 2

Front elevation



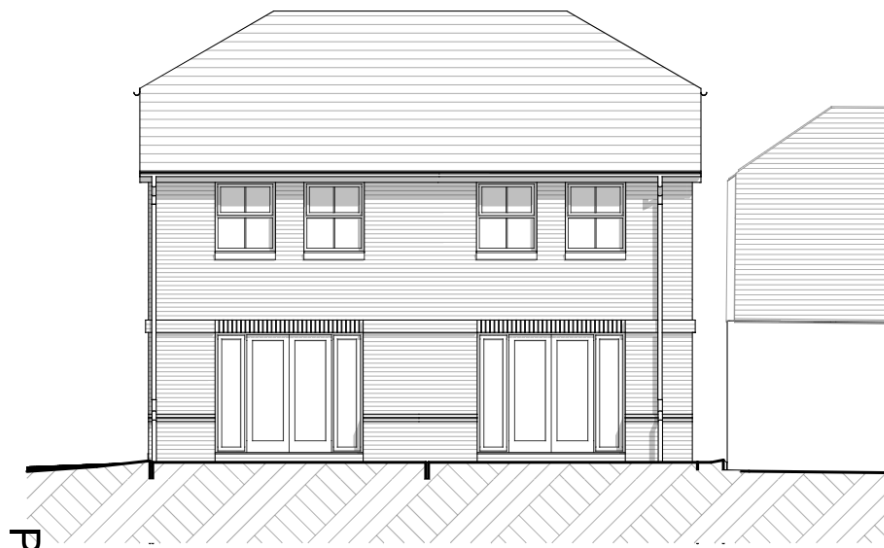
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Side elevation



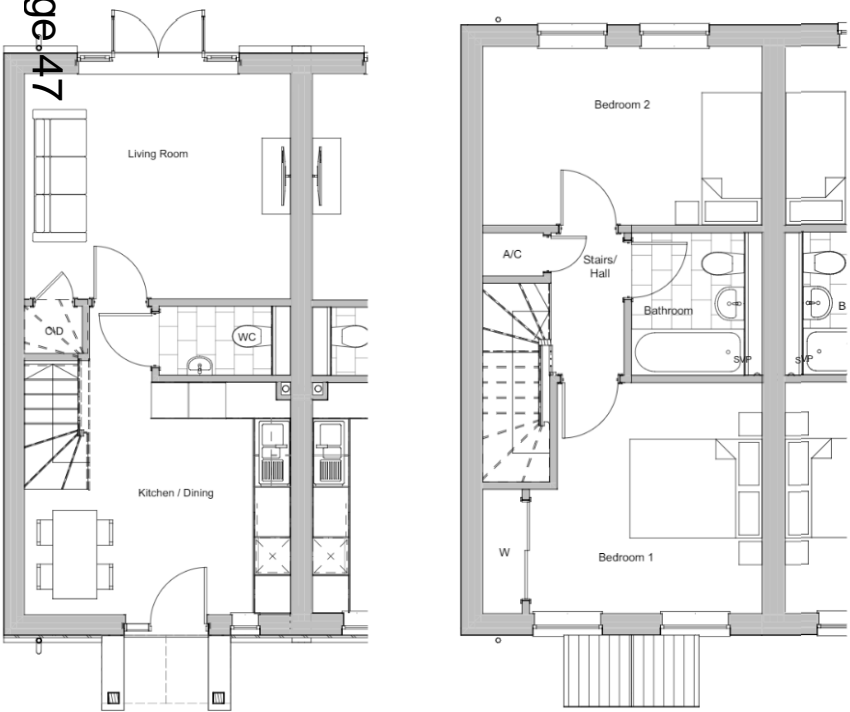
Plots 1 and 2

Rear elevations



PLOT 1-2 - WEST ELEVATION

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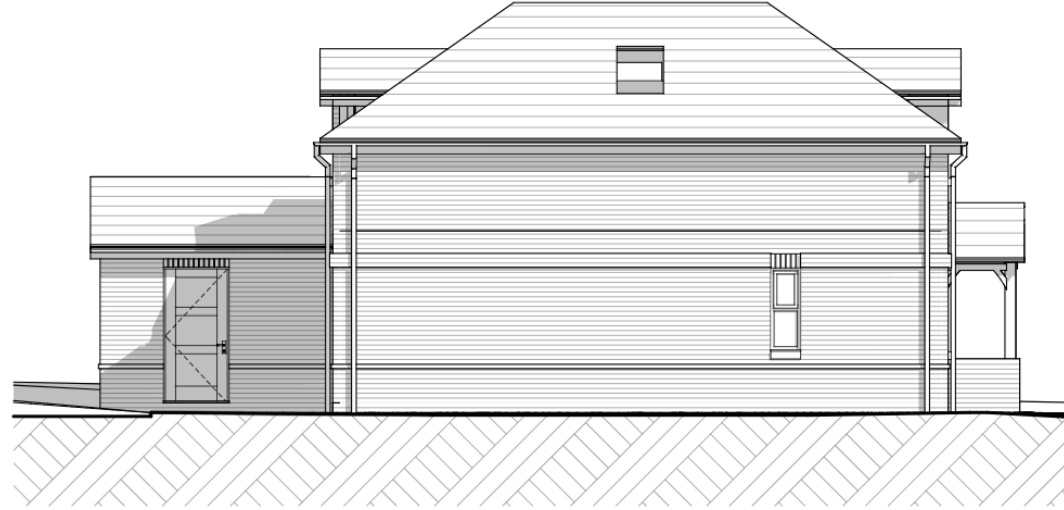


Floor Plans

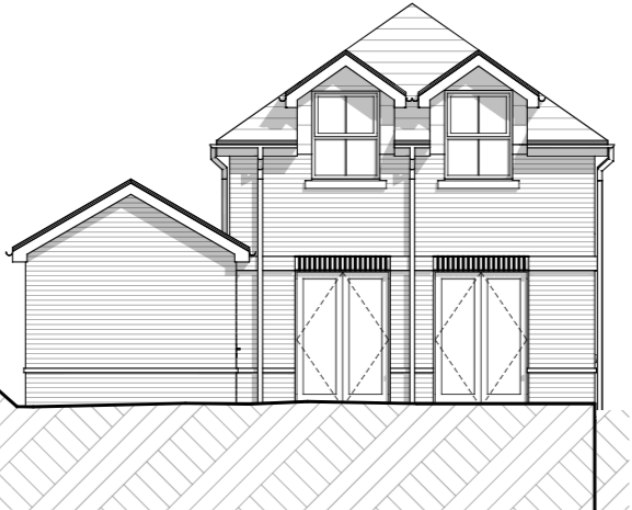
## Plot 3 elevations



House Type 2 - EAST ELEVATION



House Type 2 - SOUTH ELEVATION

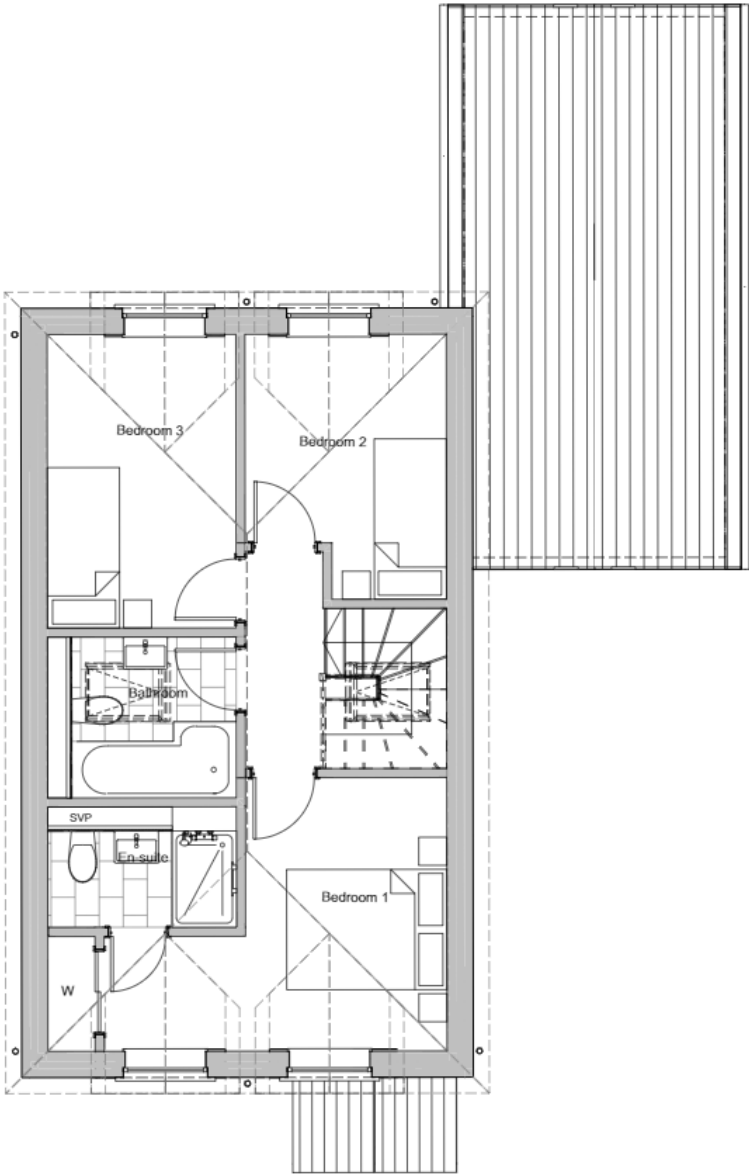
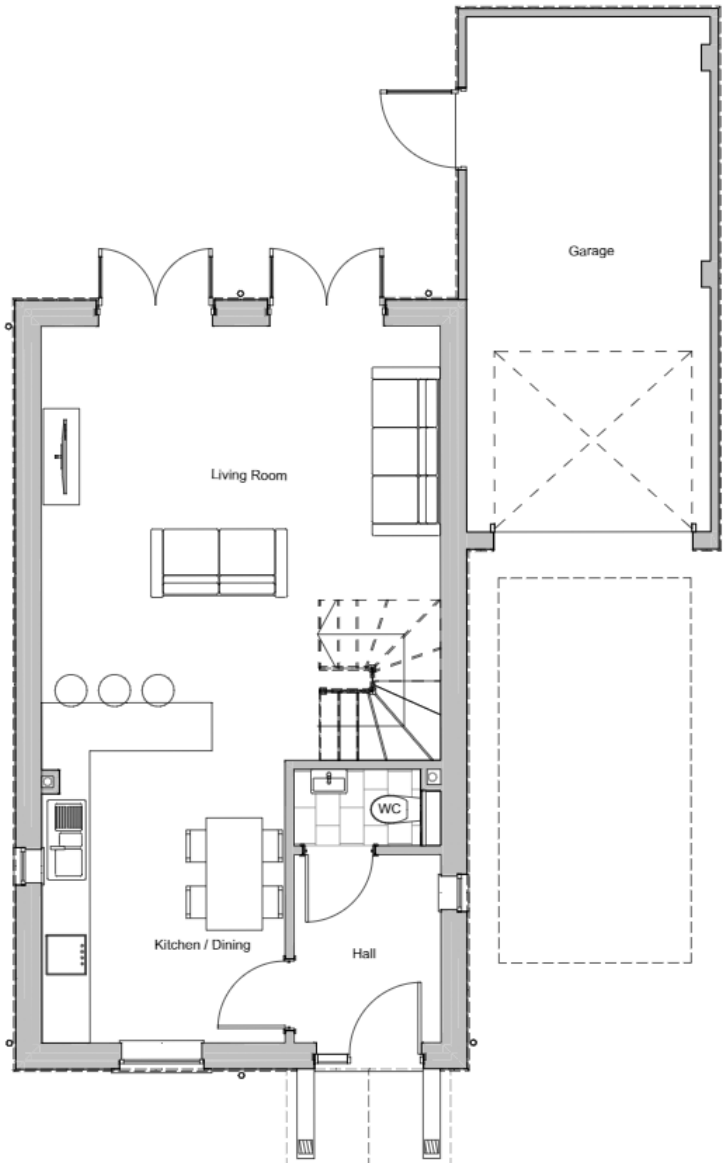


House Type 2 - WEST ELEVATION



House Type 2 - NORTH ELEVATION

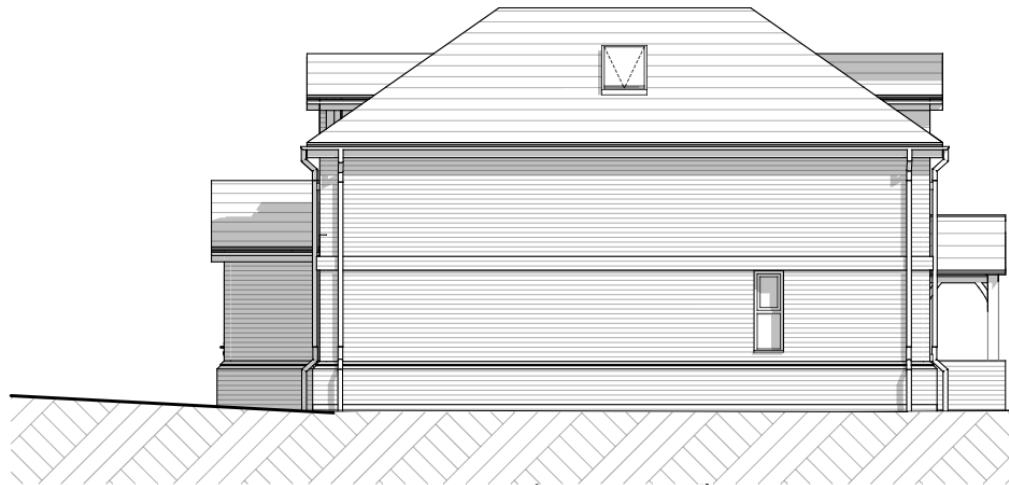
Plot 3 Floor Plans



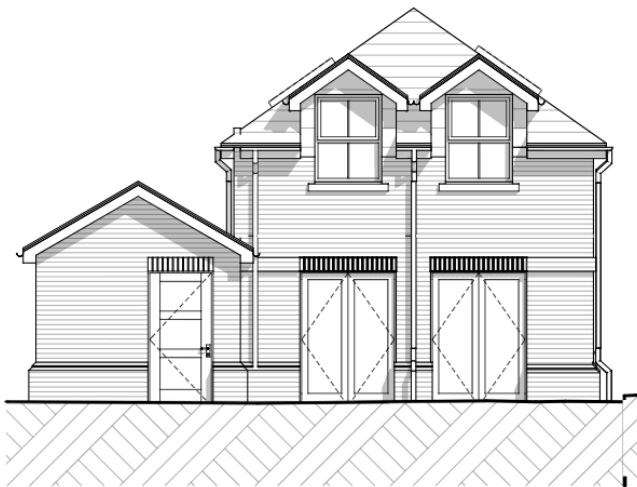
Plot 4 elevations



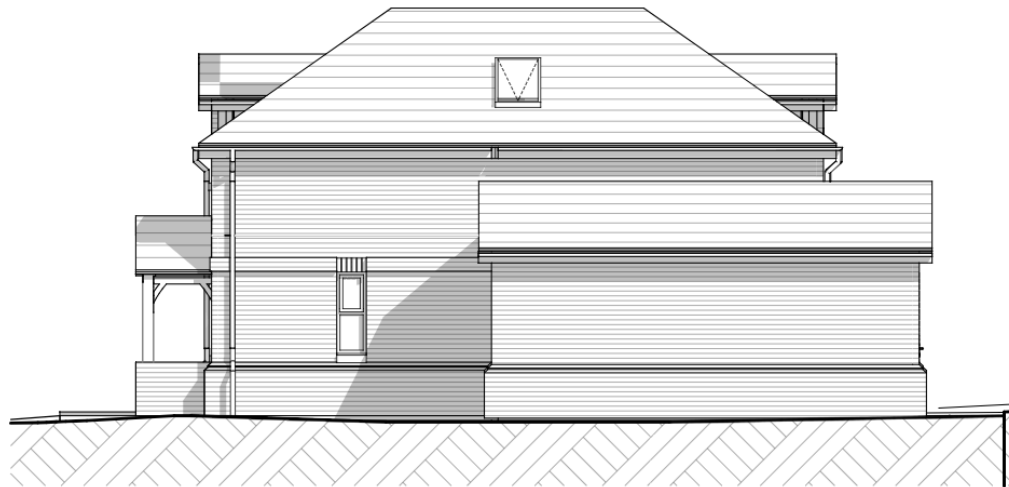
House Type 3 - EAST ELEVATION Elevation



House Type 3 - SOUTH ELEVATION Elevation

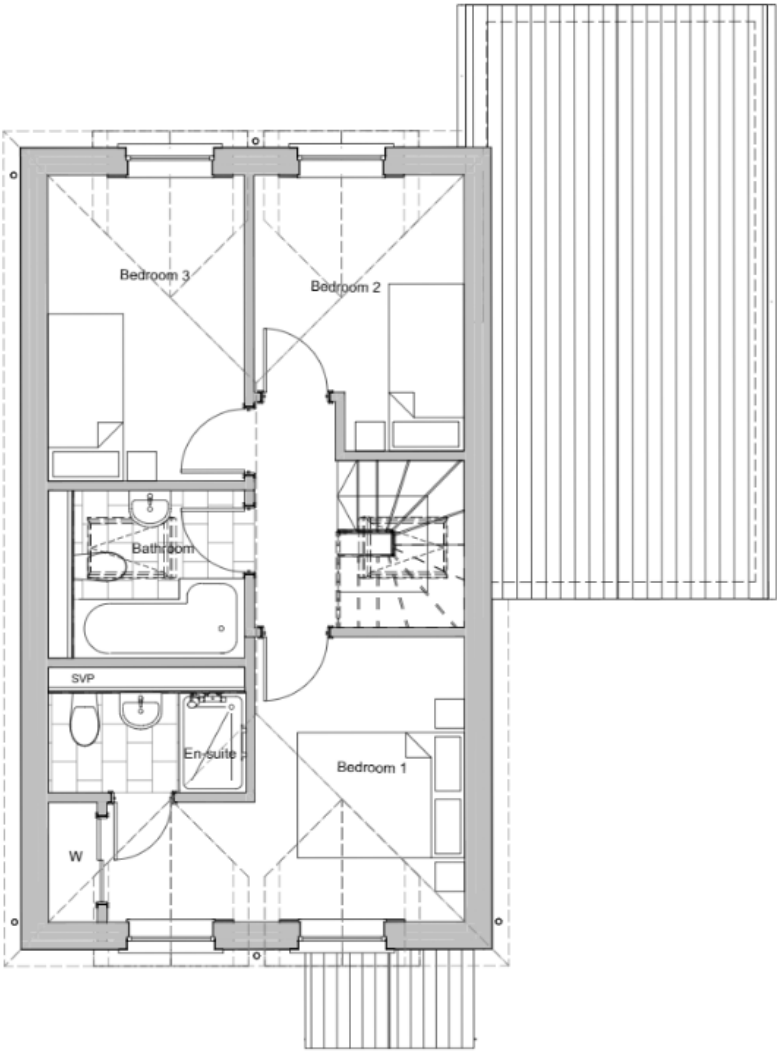
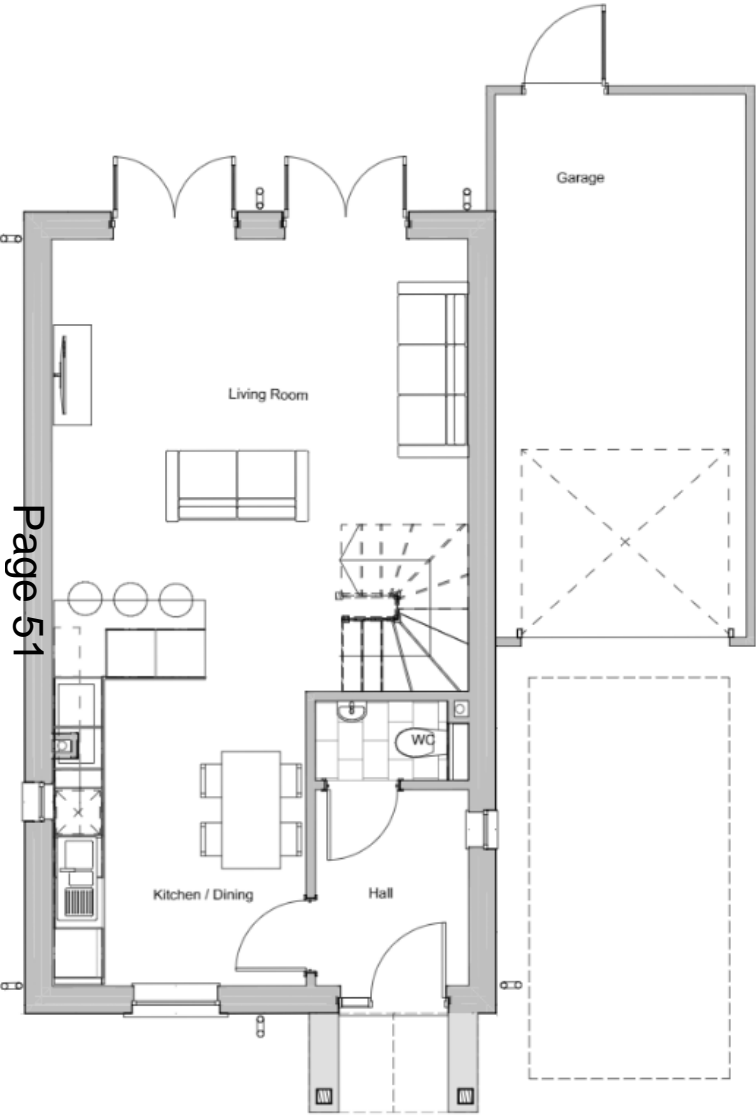


House Type 3 - WEST ELEVATION Elevation

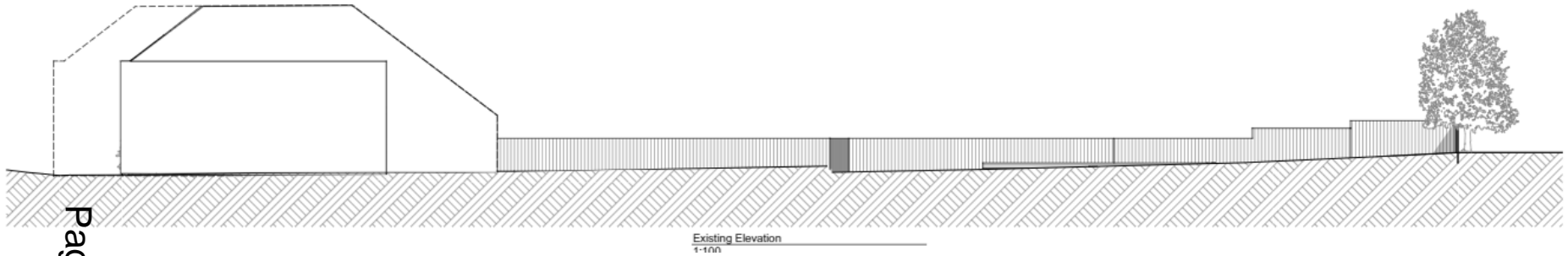


House Type 3 - NORTH ELEVATION Elevation

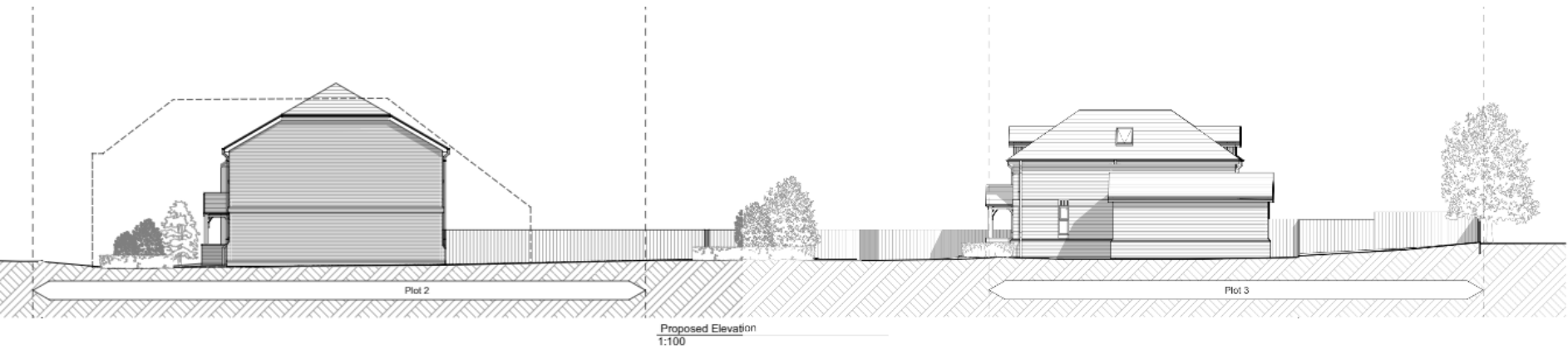
Plot 4 Floor Plans



# Section through the site



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View from  
Winchester Road



View from rear of  
the existing  
building to the  
neighbouring  
properties







View from approximately  
location of  
access/parking court  
toward neighbour to  
the north



View looking south  
toward Bull Lane

# **RECOMMENDATION - APPROVE**

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Proposal complies with Local Plan policies as  
is laid out within the report.

## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 24/00936/HOU  
**Proposal Description:** Single + 2 storey side and front extensions. Replacement garage with craft/games space in attic. Relocate vehicle access, extend drop kerb. New screen flank walls/pillars to opening with sliding gate.  
**Address:** Highview, Swanmore Road, Swanmore, Southampton  
Hampshire, SO32 2QH  
**Parish, or Ward if within Winchester City:** Swanmore Parish Council  
**Applicants Name:** Mr David Roberts  
**Case Officer:** Ethan Townsend  
**Date Valid:** 30 April 2024  
**Recommendation:** Permit  
**Pre Application Advice** No

### Link to Planning Documents

Link to page – enter in reference number **24/00936/HOU**

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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**Reasons for Recommendation**

The development is recommended for permission as it is considered that it will have a sympathetic design to the existing dwelling and have a neutral impact upon the character and appearance of the area in accordance with Policies DM15, DM16, and DM27 of the LLP2 and would not adversely harm neighbouring amenity in accordance with policy DM17 of the LPP2.

**General Comments**

The application is reported to Committee due to the number of objections received from addresses within the Winchester District which are contrary to the Officer's recommendation.

**Amendments to Plans Negotiated**

An amended site plan was received on 15<sup>th</sup> June 2024 which clarified the neighbouring property's (Three Corners) footprint. Annotations were added to the site plan to identify the positioning of the ground floor window of 'The Crest' and to identify the new tree planting that has occurred at the rear.

Amended plans have also been received which remove the first-floor rear window of the proposed outbuilding to address concerns raised by neighbouring properties.

Given the minor scale of the amendments (removal of a first-floor window) and as other additions were points of clarification, a re-consultation period was not undertaken.

**Site Description**

The application site is located to the north of Swanmore Road, with residential properties surrounding the site to the north, east and west. The dwellings along this part of Swanmore Road are built north of the road, with the south being occupied by open fields/grazing land. The site is comprised of a two-storey detached dwellinghouse and a single-storey detached garage. The dwelling is comprised of white painted brickwork. The dwelling has a front gable that protrudes slightly forward of the rest of the dwellinghouse. The dwelling is set back from the road and has a modestly sized rear garden. The majority of the front garden is screened from the road by virtue of the hedge on the front boundary. The side and rear boundaries of the site are marked by fencing.

The site is within the settlement boundary but there is still a semi-rural character to the area. There is a public right of way to the east of the site which leads from Swanmore Road, pass Hampton Farm to Jervis Court Farm. The boundary to the South Downs National Park is 41 metres to the rear of the site.

**Proposal**

The proposal seeks to erect a two-storey extension to the western side/front of the dwellinghouse and a single storey extension to the rear of this two-storey extension. The application form identifies that both extensions would be comprised of materials to match the existing dwelling. The existing garage would be demolished, and a replacement detached outbuilding erected. The outbuilding would be larger in footprint than the existing

**Case No: 24/00936/HOU**

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

and it would have a first floor to provide a games room/storage room. The proposal also seeks to reposition the access and extend the existing dropped kerb at the site. Walls and gates on the front boundary are also proposed.

**Relevant Planning History**

- 87/00302/OLD – First floor rear extension – Permitted 30/03/1987
- 76/00953/OLD - Erection of extension to provide utility and cloakrooms with bathroom over after demolition of part of existing lean-to – Permitted 24/06/1976

**Consultations**

Hampshire County Council (Highway Authority) –

- No objection

South Downs National Park Authority

- No comment

**Representations:**

Swanmore Parish Council:

The proposals contravene the Swanmore Village Design Statement and policies DM15-18 of the WCC Local Plan. The Parish Council has the following concerns:

The extension and replacement garage would have a negative impact on the amenity of neighbouring properties. Neighbouring properties would be overlooked and would lose privacy. Neighbouring properties would be overshadowed and would lose light. There is the potential for noise disturbance to neighbours from the gaming room within the garage.

The proposals would have a detrimental visual impact on the existing street scene which is made up of detached houses separated by large gardens. The proposals are out of keeping with neighbouring properties in terms of scale and size and would dominate the street scene.

The proposals would lead to an overdeveloped and overcrowded plot. The property has already been extended twice and the proposals would lead to a development that stretches fully across the width of the plot.

The development is very near to the South Downs National Park boundary but does not take into account the character of the National Park in terms of design, scale, mass and the SDNP Dark Skies policy.

The proposed design of the gates and wall are out of keeping with the surrounding properties' boundary treatments.

There is a lack of detail on the building materials to be used and the design. A flat roof is proposed which contravenes the VDS.

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There is a lack of detail on the size and scale of the works, and inconsistency in the scales used on the plans. What, for example, are the distances between the extension and new garage and the neighbouring properties? It is difficult to assess the height of the extension and garage and the full impact of the proposals on neighbouring properties.

Concern about the safety of the proposed access, will cars be stationary on a fast and busy road, waiting for the electric gates to open.

Concern that the proposal includes the removal of hedgerow; the Council understands that hedges at the back of the property have already been removed.

6 Objecting Representations received from different addresses within the Winchester District citing the following material planning reasons:

- Overdevelopment within the plot
- The extension is not of an appropriate scale being too large and wide for the property and prominent within street scene. Out of keeping/character with the street scene.
- Proposed gates and wall are contrary to village and rural style.
- Concern over the garage being used as a new dwelling.
- Concern over the container in front garden.
- Contrary to Village Design Statement.
- Overshadowing Impact and Loss of light.
- Levels of privacy afforded to neighbours – overlooking.
- Road safety due to new gates – incongruence with local style and character.
- Hedge removal

### **Relevant Government Planning Policy and Guidance**

#### National Planning Policy Framework (December 2023)

- Section 2 – Achieving Sustainable Development
- Section 4 – Decision Making
- Section 12 – Achieving Well-designed and Beautiful Places
- Section 15 – Conserving and Enhancing the Natural Environment

#### National Planning Practice Guidance

- Public Consultation: Paragraph: 002 Reference ID: 15-002-20180615
- Determining a Planning Application and Extensions of Time: Paragraph: 003 Reference ID: 21b-003-20140306
- Historic Environment: Paragraph: 002 Reference ID: 18a-002-20190723
- Use of Planning Conditions: Paragraph: 001 Reference ID: 21a-001-20140306

#### Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- DS1 – Development Strategy & Principles
- CP13 – High Quality Design
- CP16 – Biodiversity
- CP20 – Heritage and Landscape Character

**Case No: 24/00936/HOU**



WINCHESTER CITY COUNCIL  
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Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM1 – Location of Development
- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking
- DM24 – Special Trees, Important Hedgerows and Ancient Woodlands
- DM27 – Development in Conservation Areas

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Residential Parking Standards 2009

Swanmore Village Design Statement

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.

Nature Emergency Declaration (September 2023)

Statement of Community Involvement (January 2024)

Landscape Character Assessment April 2022

**Planning Considerations**

**Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 47 of the National Planning Policy Framework (NPPF, 2023) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The application site is located within the defined settlement boundary of Swanmore where the principle of development is acceptable subject to compliance with the Development Plan and material planning considerations.

**Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

**Impact on character and appearance of area**

The area is characterised by detached dwellinghouses. Generally, properties along this part of Swanmore Road are two-storey in height and brick built. There is some variety in the design and form of dwellings. The dwellings are set back from the road, with well-sized rear gardens. There are gaps between the dwellings to create a sense of openness. The hedgerows at the front of dwellings contribute to the semi-rural character.

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The proposed two-storey front/side extension would imitate that appearance of the existing front gable. The gable-end would be decorated similar to that of the existing property. Whilst the extension would not be a subservient addition to the dwellinghouse, being of the same ridge height as the existing dwelling, it would create some symmetry with the existing front-gable. The front extension would not protrude further forward of the existing front-facing gable. The roof form and eaves height would mirror that of the existing property. Its appearance would preserve the character of the principal elevation of the dwellinghouse.

It is considered that the design form and material palette of the proposed two-storey extension corresponds with the wider context of the surrounding area. The neighbouring property, The Crest, also has two front-facing gables and a fairly wide frontage. The proposal would result in the dwelling having a width of approximately 13.5m. The neighbouring property, The Crest, has a width of circa 12.6 metres. Whilst the proposed side extension would result in a noticeable increase in the width of the existing dwelling, it is not considered to be so significant that it would appear out of keeping with the surrounding properties.

The proposed two-storey extension would be visible from the public realm and as detailed above, it is of a design and form that respects and preserves the character and appearance of the principal elevation and the surrounding area. There is high boundary hedging to the front of the property which mitigates the impact of the extension to some extent by softening the appearance of the dwelling within the street scene. When seen from the road, there would be a sufficient degree of separation from the application site (Highview) and The Crest. At the closest point, the proposed two-storey side extension would be just over 1.5m from the boundary fence and 4.5 metres from The Crest. There would still be a sufficient gap between the existing dwellinghouse and the other side boundary to relate to the street scene. The replacement outbuilding would be set back within the plot, so when viewed from the street scene, it would not appear that there is a continuous frontage of built form within the plot. For these reasons, it is not considered that the proposed development would be excessively wide, nor would it result in a harmful loss in the gaps between dwellings that would be detrimental to the character of the area.

The proposed dwelling would have a variety of heights and building depths which helps break down the mass of the dwelling. This is achieved through the addition of the single storey extension, the use of gables and different ridge/eaves heights.

The application form notes that the property would be comprised of bricks and tiles to match the existing. To ensure that the selected materials would complement the existing dwellinghouse, a condition will be attached requiring samples to be provided prior to the development commencing.

The Swanmore Village Design Statement (hereafter referred to as 'SVDS') states that if possible flat roofs should be avoided. The proposed front porch would have a flat roof. This porch is of a limited size and height, and it is mainly screened from the road by virtue of the boundary hedging. Given the limited size of the porch and the restricted views from the street scene, it is not considered to result in wider harm.

The single-storey rear extension would have a flat roof. The proposed single-storey extension would be a subservient addition to the dwellinghouse, being single-storey in

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height and set at a significantly lower eaves and ridge height than the dwelling. Due to the positioning of the single-storey extension and its height, it would not be visible from the public realm. As such, the flat roof would not lead to harm to the wider character of the area. Therefore, whilst this design element is not particularly desirable, it is not objectionable.

Concern has been raised regarding the increase in built footprint at the site and the potential for the development to result in overdevelopment of the plot. The SVDS states that the ratio of any new building to its plot size should be in scale with the adjacent properties. Whilst the proposed extensions will increase the footprint, bulk and scale of the dwellinghouse, given the considerable size of the plot, the dwellinghouse when viewed in isolation is not considered to appear cramped or contrived within the plot.

However, the proposed outbuilding and storage container would add to the amount of built development at the site. To ensure that the plot is not overly developed, it is considered reasonable to condition the removal of the temporary storage container following the completion of the development. This would ensure that the coverage of built development is limited to a level that is considered acceptable. Furthermore, the removal of the storage container would improve the character and appearance of the site. Overall, the proposal would result in an increase in site coverage, however, with the removal of the storage container conditioned, on balance, it is not considered to be excessive given the size of the plot.

The replacement outbuilding would be larger than the existing single-storey garage. The replacement outbuilding would be 'L' shaped. It would be circa 8.33m in length and 5.17m in width. There is some variance in ground levels surrounding the outbuilding, however it would be approximately 3.55 metres in height to the eaves and 5.91 metres in height to the ridge. It would utilise a similar design, form and material palette to the host dwellinghouse, which ensures a consistent appearance across the site. The outbuilding, despite its increase in height, would still appear as a subservient outbuilding to the host dwelling. Its height, scale, size and mass do not compete with the host dwelling.

The replacement outbuilding will be sited slightly further forward of the existing garage. The increase in height and larger footprint would increase the visibility of this outbuilding (compared to the existing). The replacement outbuilding would be set back from the road by 22 metres. Whilst it would be visible in front-on views from Swanmore Road, given the distance from the road and its appropriate design and form (matching that of the host dwelling), it is not considered to appear overly prominent within the street scene.

There are a number of examples of detached garages within the surrounding area and this replacement outbuilding would be sited near to the outbuilding at Merewether. When viewed from the road, this building clearly distinguishes itself as a subservient outbuilding by virtue of its lower eaves and ridge height (in comparison to the dwelling) and due to the presence of front garage doors.

The floor plans indicate that the dwelling is to be used as a garage/store/games room. The proposed use of the outbuilding is incidental and is considered acceptable for a residential area. A condition will be attached to ensure that the outbuilding remains incidental to the dwellinghouse and at no point forms a separate unit of accommodation.

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The proposal also seeks to erect a sliding gate and brick wall at the site. The brick wall would be approximately 1.9 metres in height and the brick piers would be 2.2 metres in height. The proposed wall and gates would only surround the vehicle entrance. The proposed wall and gate would have a more suburban appearance and would be visible from the street scene. It is noted that there are no examples of gates or walls within the immediate vicinity of the site. However, the application site is located adjacent to Merewether, which is a dwelling with a more contemporary and suburban appearance. The application site, whilst in the settlement boundary, is within semi-rural surrounds where consideration needs to be held towards preserving this character. The front boundary hedging makes a key contribution to the character and appearance of the area. The proposed site plan identifies that the hedge is to be retained. The walls and the gates would only occupy a modest part of the road frontage, as most of the front boundary would still be occupied by the hedging. It is considered that the impact of the walls and gates would be softened by their proximity to the high boundary hedge. For this reason, it is considered reasonable to condition the retention of the hedge, to ensure that the semi-rural character of the application site is maintained in perpetuity. Therefore, with the condition assuring that the boundary hedge will not be lost, on balance, the walls and gates are considered to be acceptable in this location.

There is a public right of way (ROW) to the southeast of the site. The proposed two-storey and single-storey extensions would be added to the northwestern side of the dwellinghouse. Due to the positioning of these extensions and the distance between the extensions and the ROW, there would be no harmful impact upon the enjoyment of this ROW. It will be possible to view parts of the proposed outbuilding from the ROW. However, due to the intervening buildings and boundary treatments, any impact is sufficiently mitigated.

Overall, it is considered that the proposed development is capable of being accommodated on the site without an adverse impact on the character and appearance of the surrounding area. For the reasons set out above, it is not considered that a recommendation of refusal could be sustained at appeal as the harm to the character and appearance of the area cannot be demonstrated to be of significant detriment. The development is therefore considered to be compliant with Policy DM15 and DM16.

### **Development affecting the South Downs National Park**

The boundary to the South Downs National Park is circa 41 metres from the rear boundary of the application site.

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2023. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

The South Downs National Park Authority have been consulted on the application and they have not raised any comments. The Parish have shared concern over the fact that the size of the property does not consider the character of the National Park and the

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**SDNP Dark Skies Policy.**

The previous section has considered the development's impact upon the character and appearance of the area. The site is surrounded by other residential properties to the north, east and west.

Given the distance from the National Park, it is reasonable to condition external lighting at the site to ensure that it is appropriate for the dwellinghouse and in the interests of limiting light pollution. The proposed single-storey extension would have a roof lantern and the outbuilding would have three small rooflights. The application site is located within the settlement of Swanmore, near to other residential dwellings with existing sources of light. The application site also contains an existing dwelling with associated light emission. These proposed features (roof lantern and three small rooflights) are not considered to produce adverse levels of light pollution to the detriment of the South Downs National Park.

Taking account of the Park's purpose to conserve and enhance the natural beauty, wildlife and cultural heritage of the area and promote understanding of its special qualities, the development will have a neutral impact and does not therefore adversely conflict with the statutory purposes of the SDNP designation.

In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

**Historic Environment**

The proposed development would not impact upon the historic environment. Given the distance from any designated and non-designated heritage asset, the proposal would not affect any statutory Listed Building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

**Neighbouring amenity**

The application site is surrounded by residential properties. Merewether and The Crest are situated either side of the property, with Hampton House to the rear.

With regards to Merewether, the proposed extensions would be a sufficient distance away to not impact upon this neighbouring property. However, the replacement outbuilding is sited near to the boundary with this property. The proposed replacement outbuilding would be sited 0.5m away from the boundary at the closest point. The existing outbuilding was located closer, but this building was single storey in height and of very a limited scale and bulk. The outbuilding would have a pitched roof and the orientation of the outbuilding would ensure that the eaves are closest to the boundary with the neighbour. Given that the roof slopes away from the boundary, this would limit the potential overbearing impact of the building. The proposed elevation plan identifies the boundary fence and shows that the eaves will be 0.64m to 0.89m above the fence height with the variation due to changes in ground level. Whilst it is acknowledged that the proposals would be visible by the occupants of Merewether, it is not considered that the outbuilding would result in an adverse overbearing impact to the significant detriment of the occupants.

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Concern has been raised with regards to the potential for the outbuilding to create noise. The first floor of the outbuilding is to be used as a games room. The use of this outbuilding in association with the host dwelling is not considered to give rise to significant adverse impacts upon noise levels beyond what could be reasonably expected within the domestic curtilage of a property.

There are three ground floor windows located on the neighbouring property's (Merewether's) western elevation. One serves a bathroom; one serves a study and the other serves a utility room. The window serving the bathroom is located closest to the proposed outbuilding, with a distance of about 7 metres. Given the increased height of the replacement outbuilding, it is reasonable to suggest that there will be an impact upon the light received by these rooms. However, given the orientation and positioning of these windows, there will only be an impact upon late afternoon sunlight. In light of the distance between the replacement outbuilding and neighbouring property's windows and the height of the extension, it is not considered that there will be an adverse loss of sunlight received by these rooms. These habitable rooms will still receive sufficient daylight.

The Crest is located to the west of the application site. The proposed two-storey side extension would result in the built form of Highview being closer to this neighbouring property. This extension would have one first floor window on the western side elevation. This window would be a high-level obscure glazed window and therefore, there will be no direct overlooking impact as a result. Two new ground floor windows are proposed on the side elevation but given the presence of boundary fencing and hedging, an overlooking impact is not expected.

The proposed two-storey side extension would be located between 1.3m-1.9m from the side boundary fence. The distance between the boundary fence and The Crest is approximately 2.6m. Therefore, there would be a 4.2m-4.6m gap between the two properties. There are some changes in ground level however, the proposed extension would have a ridge height of approximately 7.85m and eaves height of 5.35m. Comments have been raised regarding the potential overbearing impact of this extension. The planning history of the neighbouring property has been reviewed and identifies that the ground-floor window (as shown on the amended site plan) serves a 'family room'. This room is solely served by this window, which was confirmed during the site visit. There are no other ground-floor windows that would be impacted by the proposed extension. The proposed extension would result in the built form being built closer to this neighbouring property, however, at present the outlook from the 'family room' is of the existing property's flank elevation. The proposal would result in a similar outlook from this room, and considering the distance between the two, it is not considered to be unduly overbearing to the significant detriment of this neighbouring property's amenity.

The floor plans from 2003 application (03/00546/FUL) confirm that The Crest's ground floor window on the eastern elevation serves a family room and the first-floor window serves a bathroom, which is not considered as prime amenity space. The High-Quality Spaces SPD (2015) sets out that overshadowing and loss of light is an important amenity consideration. "For example, where a two-storey structure is placed immediately to the south of a neighbouring patio area." In this instance, a two-storey structure would be placed to east of this neighbouring property's window. With regards to sunlight, the sun rises in the east and sets in the west. As such, it is reasonable to expect that this ground-floor window will only receive sunlight in the mornings. By the time the sun sets in the west, this neighbouring property will be overshadowing the windows on the side elevation

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of Highview. This is an anticipated relationship between neighbouring properties in residential areas.

Objections have been raised with regards to the proposal failing BRE guidelines. The case officer has visited the site to establish the relationship between the application site and neighbouring properties. In this instance, there is a sufficient distance between this ground floor window and the proposed development. The extension would result in an impact upon the level of light received by this habitable room. However, the extension is not positioned in a way that it would result in such a significant reduction in the levels of daylight and sunlight. There would still be an adequate level of light received by this room. The neighbouring objection and relationship between the properties has been carefully considered and whilst the neighbouring property would be impacted by the development, it is not considered that the proposal would be significantly detrimental to justify refusal of the application.

The neighbouring property to the rear, Hampton House, is sited a sufficient distance from the proposed outbuilding and extensions to not be adversely affected by any overshadowing or overbearing impact. Amended plans have been received that remove the first-floor window of the proposed outbuilding so that there would not be any overlooking impact on this neighbour. The applicant has recently planted a row of trees at the rear of the site which will provide additional screening to the site. Once these trees become more established, they will significantly reduce any mutual overlooking between Highview and Hampton House. The proposed rear extension is not located closer to this property than the existing rear of the dwellinghouse so there is not considered to be any adverse impact on this neighbouring property.

Concern has also been raised about the development's impact upon a loss of views. For clarity, a loss of a private view is not a material planning consideration.

In conclusion, the neighbouring objections have been carefully considered in the assessment of this application. It is acknowledged that the proposed development would be a visible addition from the perspective of neighbouring properties, yet when weighing the above factors into consideration, it is not considered that the level of impact would be materially harmful that would justify a reason for refusal on these grounds. As such, the proposal would comply with the requirements of Policy DM17.

### **Sustainable Transport**

The application seeks to relocate the existing vehicle access and extend the dropped curb to the northwest. The Highways Authority have been consulted on the application and they have no objections. An informative will be added to ensure that the applicant is reminded that they will need an agreement with HCC to undertake the drop kerb works on the Highway.

The Highway Authority have confirmed that the relocation of the access will have no negative impacts to the existing visibility splays onto Swanmore Road. The Block Plan identifies that the gates will be sufficiently set back in excess of 6 metres from the highway edge to ensure that vehicular traffic is not impeded whilst vehicles are waiting for the gates to open.

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The proposal would not increase the number of bedrooms at the property. In light of this, it is not foreseen that the proposal would result in a material increase or change in the volume of traffic entering or leaving a highway. The residential parking standards identify that a four-bedroom property requires three parking spaces. The proposed block plan identifies that there would be space on the front driveway for three cars.

As such, it is considered that there are no highway reasons to refuse the application and it is also considered to comply with policy DM18 of LPP2.

### **Ecology and Biodiversity**

The proposal will have no impact as it is not development within, bordering or in close proximity to a Nationally Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) or is not overnight accommodation affecting Nitrates.

Due to the nature of the development and the distance between the application site and the Nationally Protected Site of the Solent SAC and SPA and the River Itchen SAC, an Appropriate Assessment under the Conservation of Habitats & Species (Amendment) Regulations 2011 is not required.

The proposal is for development to buildings within the residential curtilage of the site. The application site was not highlighted under the Hampshire Biodiversity Information Centre triggers. The Biodiversity Checklist did not identify that any further surveys are necessary. Therefore, the proposal would be in compliance with Policy CP16 of LPP1.

### **Sustainable Drainage**

The site is located within Flood Zone 1, and therefore it has a very low risk of flooding. The proposal will have no impact upon drainage as the site is already an existing residential dwelling. It does not seek to erect a new dwellinghouse nor is it considered to intensify levels at the site. The site will still remain a four-person dwellinghouse. The proposal will be subject to a Building Control inspection (Informative 7). The proposal is expected to use the existing surface water and sewage as the existing dwelling. Therefore, the proposal complies with policy DM17 of LPP2.

### **Trees**

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term.

There are no trees within the confines of the site that would be impacted by the extension. There are several trees located close to the replacement outbuilding on the neighbouring property's land (Three Corners). These trees are shown on the amended site plan. The existing garage falls within the root protection zone of a small adjacent tree. The proposed replacement garage would be sited marginally further away from this tree. However, this tree is not protected by a tree preservation order, and in light of the existing built form at the site, it is not considered that the proposal would result in an adverse impact upon the health and amenity of this tree.



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There is a hedgerow on the front boundary of the site. The proposed site plan confirms that this hedge is to be retained. The proposal will therefore comply with policy DM24.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

This application proposes a development which cumulatively would result in an increase in site coverage. However, the proposed extension and outbuilding have been designed to be in keeping with the style and form of the existing dwelling. The site will still retain important characteristics that contribute to the character of the area, as such it is considered that the proposed development is capable of being accommodated on this reasonably sized site without leading to significant harm. It is acknowledged that the proposal would impact neighbouring properties however the harm has not been identified to be at a significant level that would warrant a reason for refusal.

The proposal complies with policies DM1, DM15, DM16, DM17 and DM18 of the Local Plan Part 2 (2017) and DS1, CP13 and CP16 of the Local Plan Part 1 (2013) and the High-Quality Places SPD.

### **Recommendation**

Application Permitted subject to the following condition(s):

#### **Conditions**

01 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

02 The development hereby approved shall be constructed in accordance with the following plans:

- Proposed first floor plan, drwg 04B, received 15/06/2024
- Proposed Elevations, drwg 05A, received 24/06/2024
- Proposed Re-positioned vehicle access/ screen walls/ gates, drwg 06A, received 15/06/2024
- Proposed Site/Block Plan, Drwg 01A, received 15/06/2024

Reason: In the interests of proper planning and for the avoidance of doubt.

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03 No development above foundation level shall take place until samples or exact details of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority.

Development must be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory and high-quality appearance in the interests of the amenities of the area.

04 The temporary storage container (shown on Proposed Site Plan Drwg. 01 Rev A) must be removed from the site 3 months following the completion of the proposed development.

Reason: In the interests of visual amenity.

05 No external lighting shall be installed on the site unless details of such proposals have been submitted to and approved in writing by Winchester City Council.

The lighting must then be installed in accordance with these approved details.

Reason: To protect the amenities of the area and to limit light pollution in this semi-rural area adjacent the South Downs National Park.

06 The outbuilding hereby permitted shall not be used at any time other than for purposes incidental to the existing dwelling. At no time shall the outbuilding be occupied as an independent unit of accommodation.

Reason: To accord with the terms of the application and to prevent the creation of inappropriate units of accommodation, leading to over intensive use of the site.

07 The front boundary hedge, as shown on the Proposed Site/Block Plan (DRWG 01 A) shall be retained for the lifetime of the permission hereby granted.

If the hedge is removed or becomes seriously damaged or diseased, it should be replaced in the next planting season with planting of a similar size and species, unless Winchester City Council gives written consent to any variation.

Reason: To preserve the character and appearance of the area.

**Informative:**

1. In accordance with paragraph 38 of the NPPF (2023), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:

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- Local Plan Part 1 Joint Core Strategy: DS1, CP13, CP16, CP17
- Local Plan Part 2: DM1, DM15, DM16, DM17, DM18, DM24
- High Quality Places SPD
- Section 66 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990
- Parking Standards SPD
- National Planning Policy Framework

3. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

4. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served.

5. During Construction, no materials should be burnt on site. Where allegations of statutory nuisance are substantiated by the Environmental Protection Team, an Abatement Notice may be served under The Environmental Protection Act 1990. The applicant is reminded that the emission of dark smoke through the burning of materials is a direct offence under The Clean Air Act 1993.

6. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible. For further advice, please refer to the Construction Code of Considerate Practice <https://www.ccscheme.org.uk/resources/the-code-of-considerate-practice/>

7. Please be advised that Building Regulations approval may be required for this development. Please contact WCC Building Control Department for more information (T: 01962 848176, E: [buildingcontrol@winchester.gov.uk](mailto:buildingcontrol@winchester.gov.uk)) <https://www.winchester.gov.uk/building-control>

8. Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements (as set out in paragraph 17 of Schedule 7A of the Town and Country Planning Act 1990 and the Biodiversity Gain Requirements (Exemptions) Regulations 2024) are considered to apply as follows:

- The Development is for a householder application

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9. The applicant is advised that one or more of the Conditions attached to this permission need to be formally discharged by the Local Planning Authority before works can commence on site. Details, plans or samples required by Conditions should be submitted to the Council at least 8 weeks in advance of the start date of works to give adequate time for these to be dealt with. If works commence on site before all of the pre-commencement Conditions are discharged, then this would constitute commencement of development without the benefit of planning permission and could result in Enforcement action being taken by the Council.

The submitted details should be clearly marked with the following information:

The name of the planning officer who dealt with application.

The application case number

Your contact details

The appropriate fee.

Further information, application forms and guidance can be found on the Council's website - [www.winchester.gov.uk](http://www.winchester.gov.uk).

10. The applicant is advised that the formation of the new vehicle crossing (dropped kerb) will require the consent of the Highway Authority, Hampshire County Council. Licence applications can be made via Hampshire County Council's website: [www.hants.gov.uk/transport/licencesandpermits/roadopening](http://www.hants.gov.uk/transport/licencesandpermits/roadopening)

11. In order to promote biodiversity, please consider the installation of erecting appropriate bat/bird roosting/nesting provision after completion of the proposal. For further advice, please refer to <https://www.bats.org.uk/our-work/buildings-planning-and-development/bat-boxes> or <https://www.rspb.org.uk/birds-and-wildlife/helping-birds-and-wildlife>.

# Highview, Swanmore Road, Swanmore, Southampton, Hampshire, SO32 2QH

Single + 2 storey side and front extensions. Replacement garage with craft/games space in attic. Relocate vehicle access, extend drop kerb. New screen flank walls/pillars to opening with sliding gate.

Application Number: 24/00936/HOU









Swanmore Road

Public ROW







# Existing Dwellinghouse



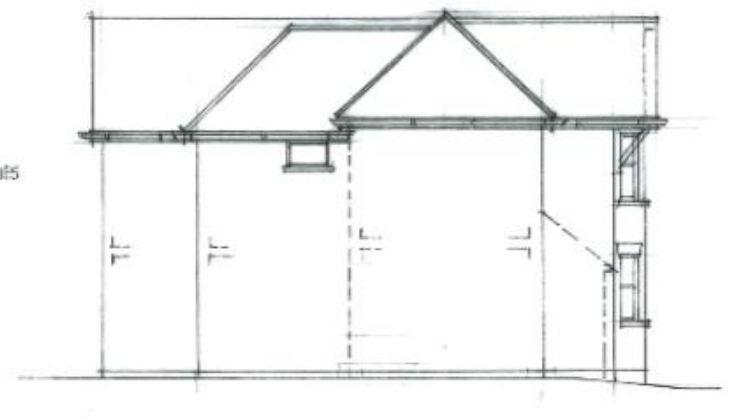
EXISTING SIDE ELEVATION 1:100



EXISTING REAR ELEVATION. 1:100@A3



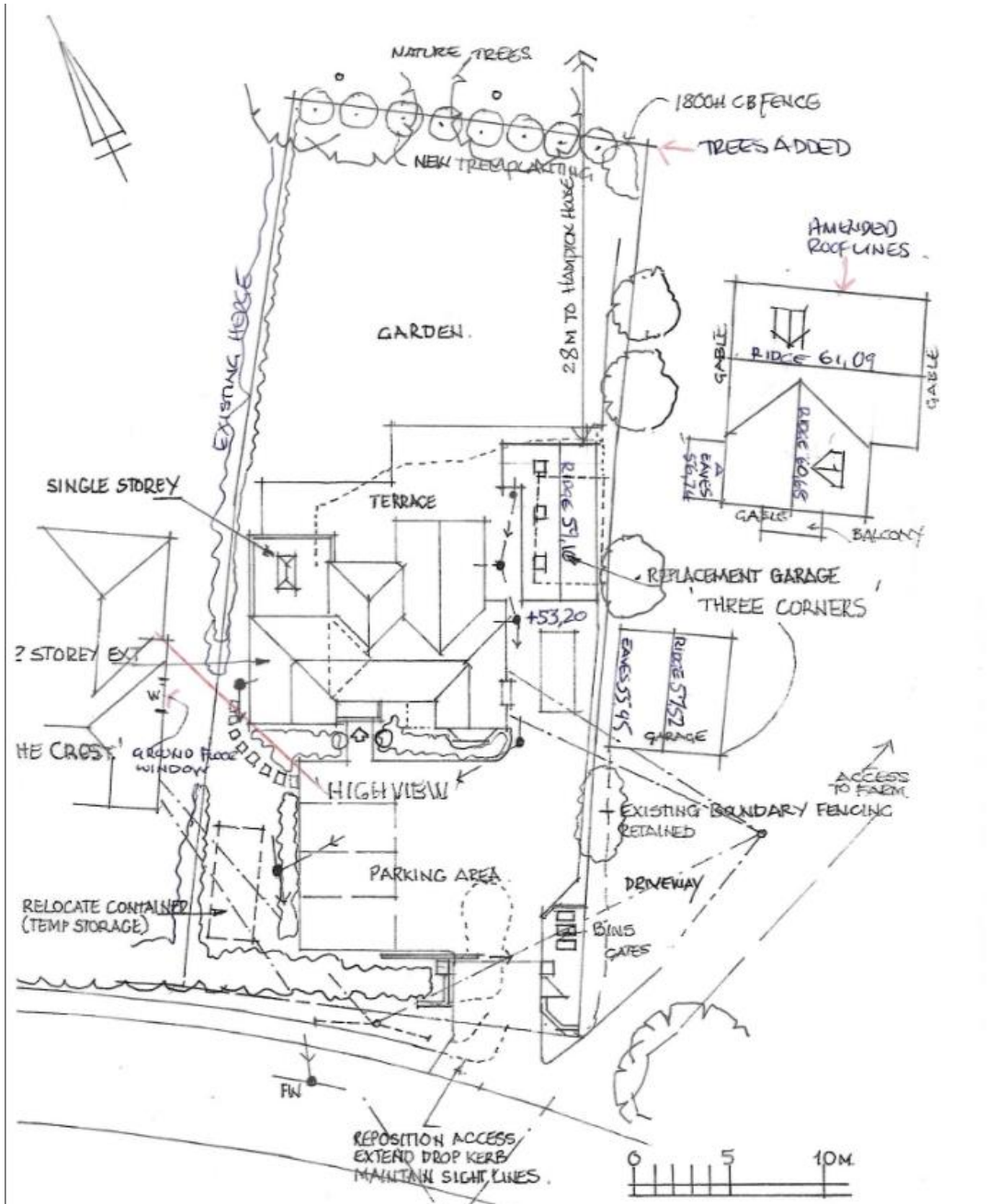
EXISTING FRONT ELEVATION 1:100@A3



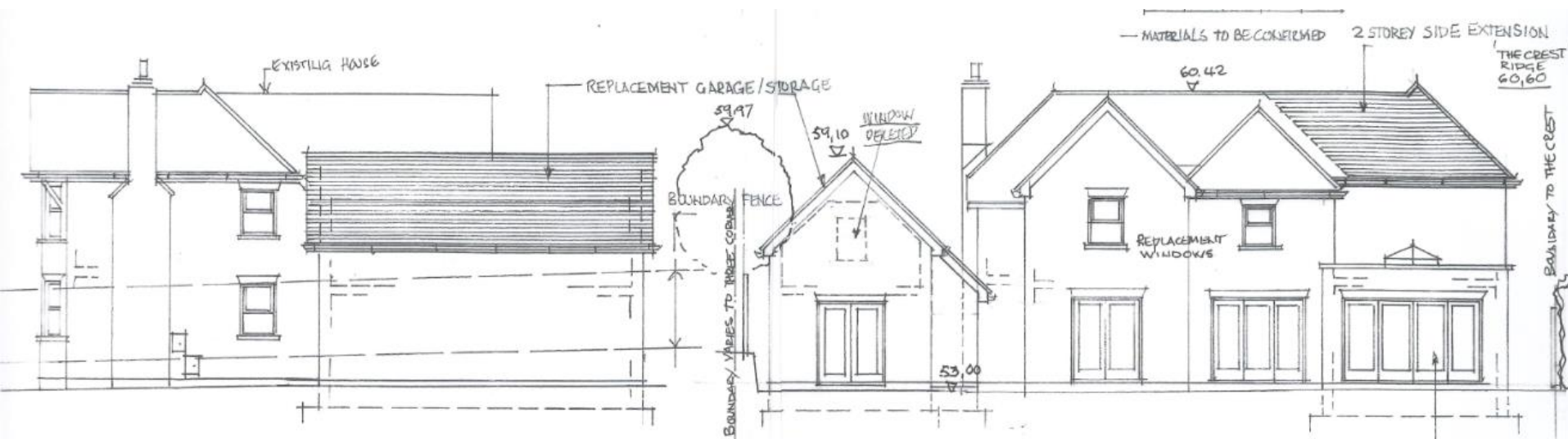
EXISTING SIDE ELEVATION. 1:100



# Proposed Site Plan



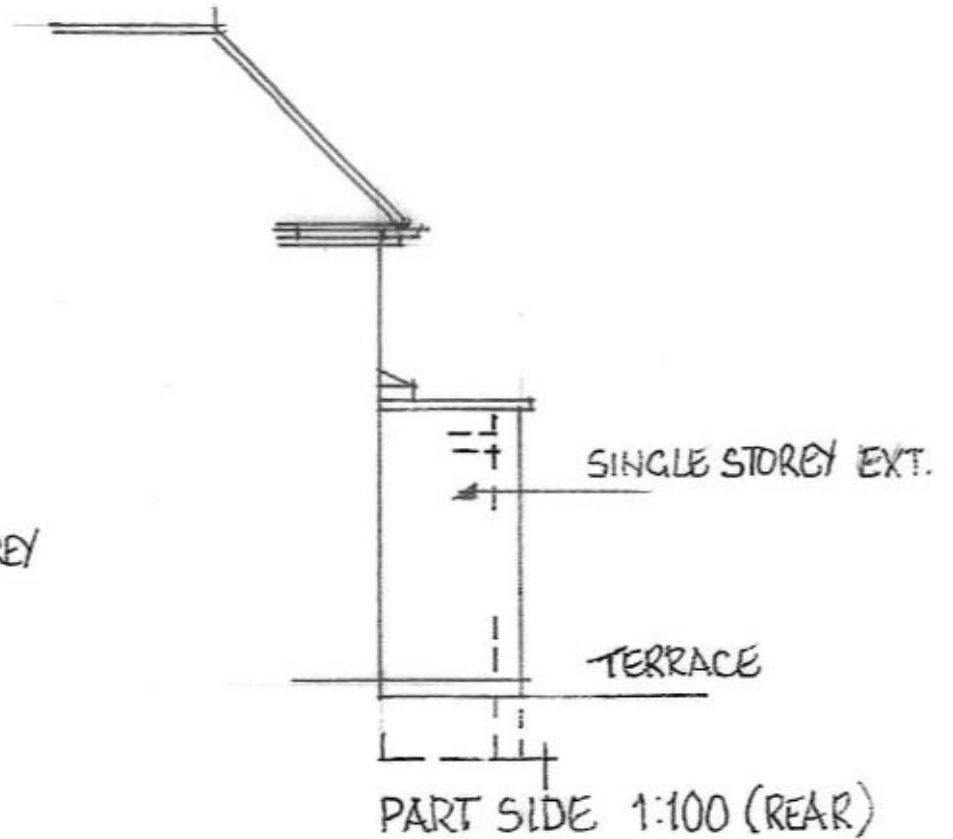
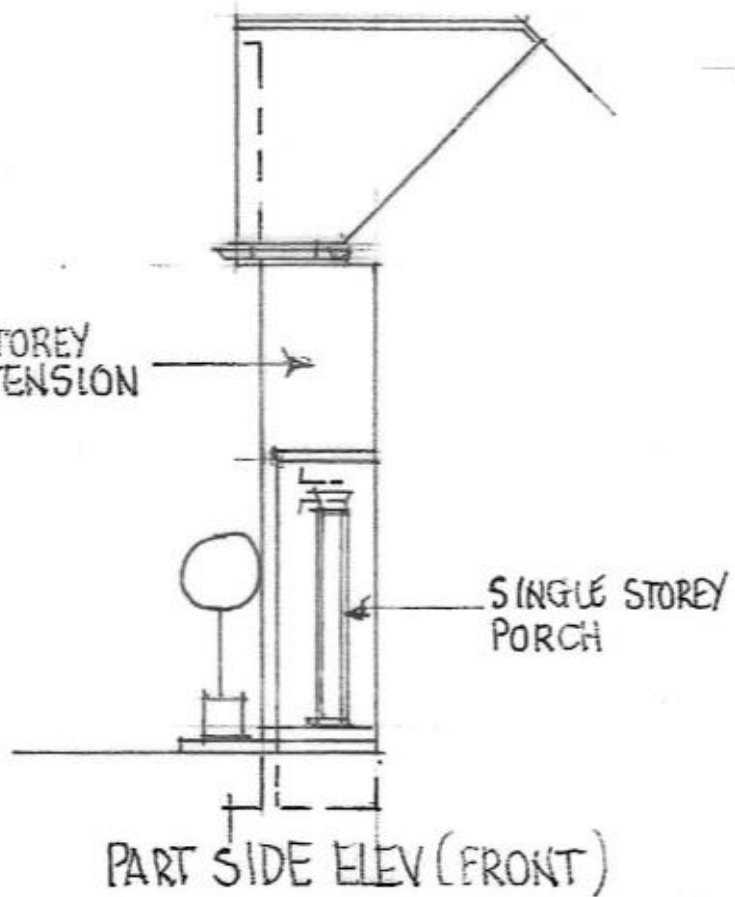
# Proposed Elevations



24/00936/HW

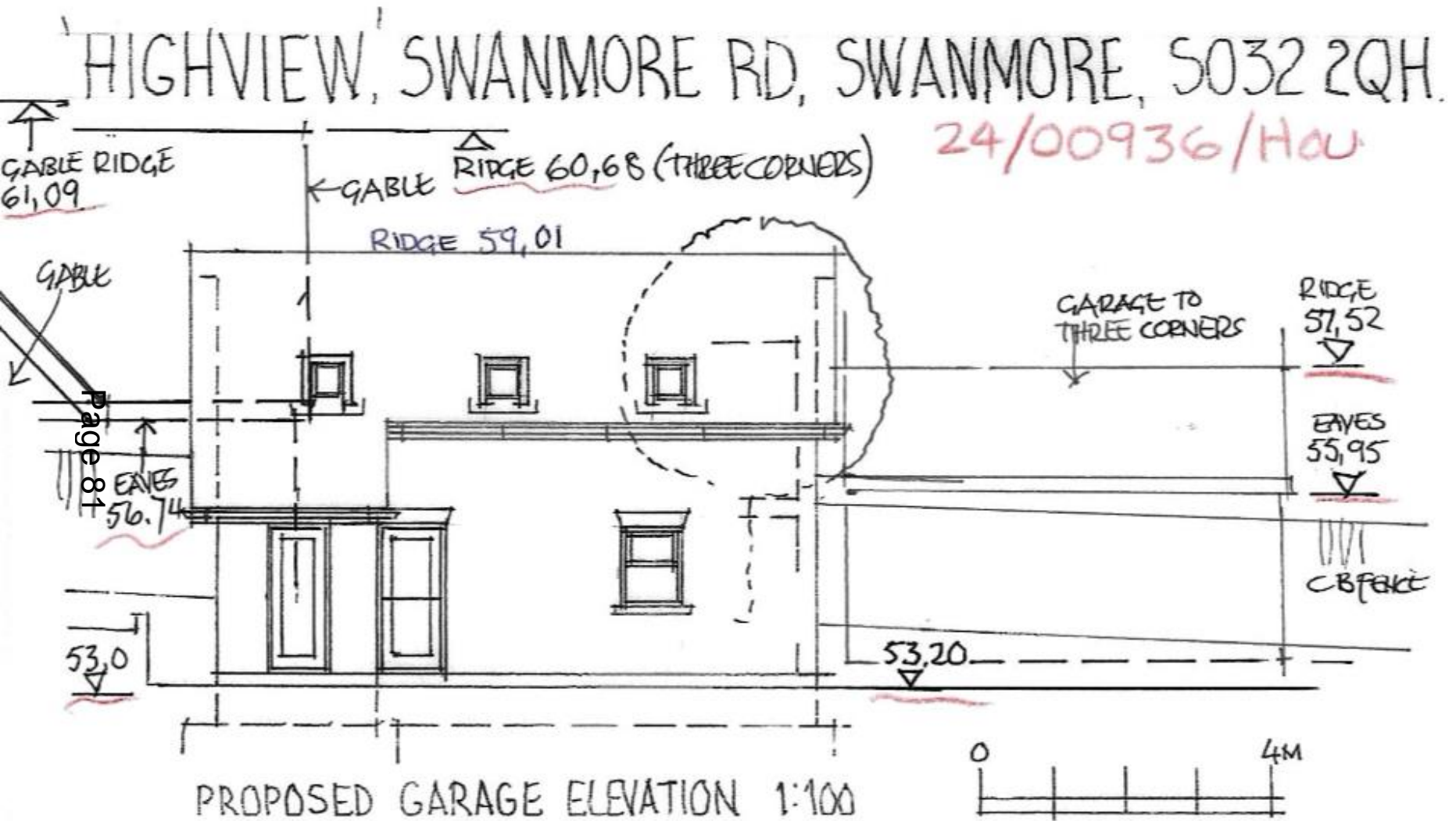
## Proposed Part Side Elevation

Page 80



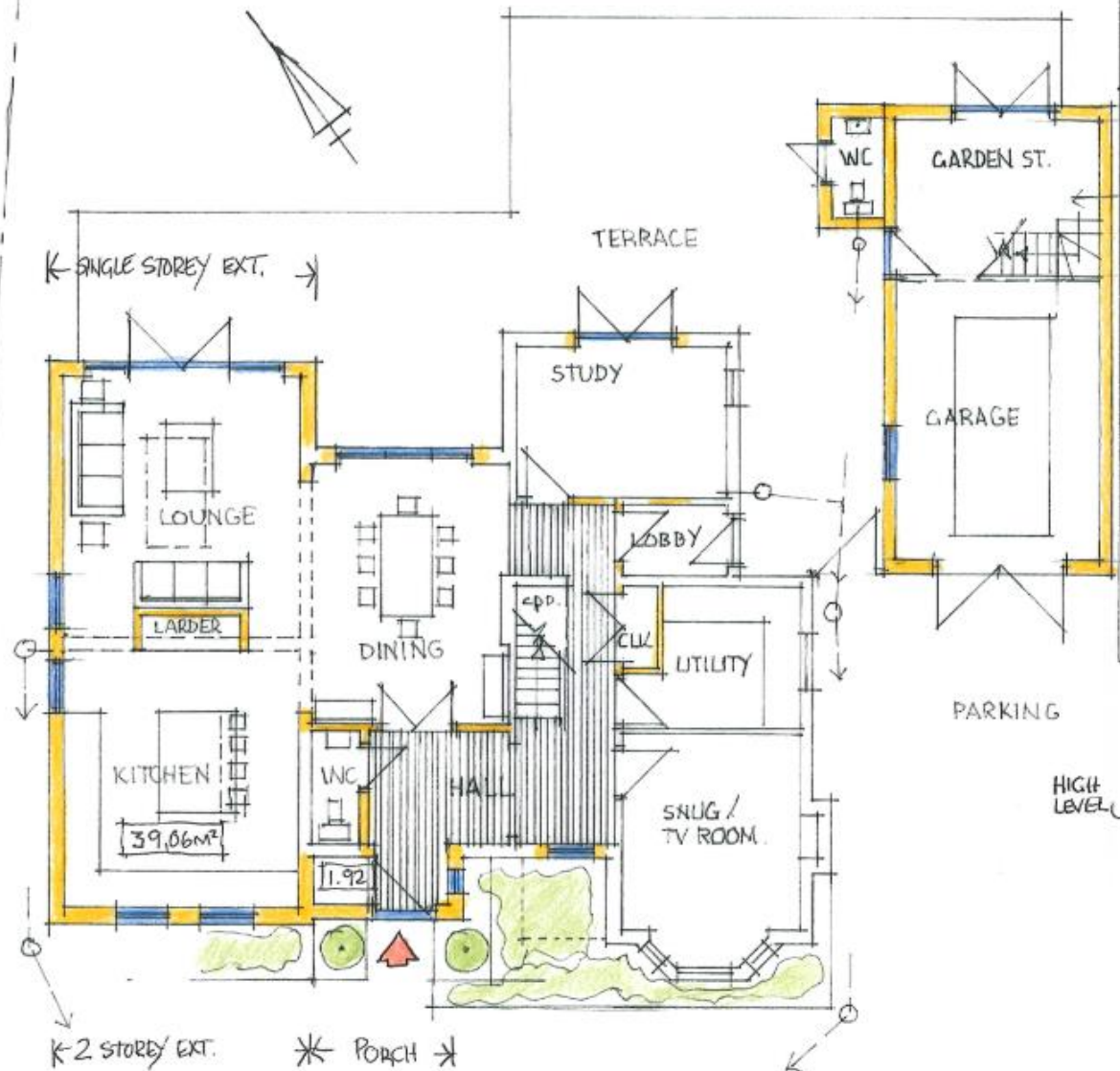


# Proposed Garage Elevation



# Proposed Ground Floor Plan

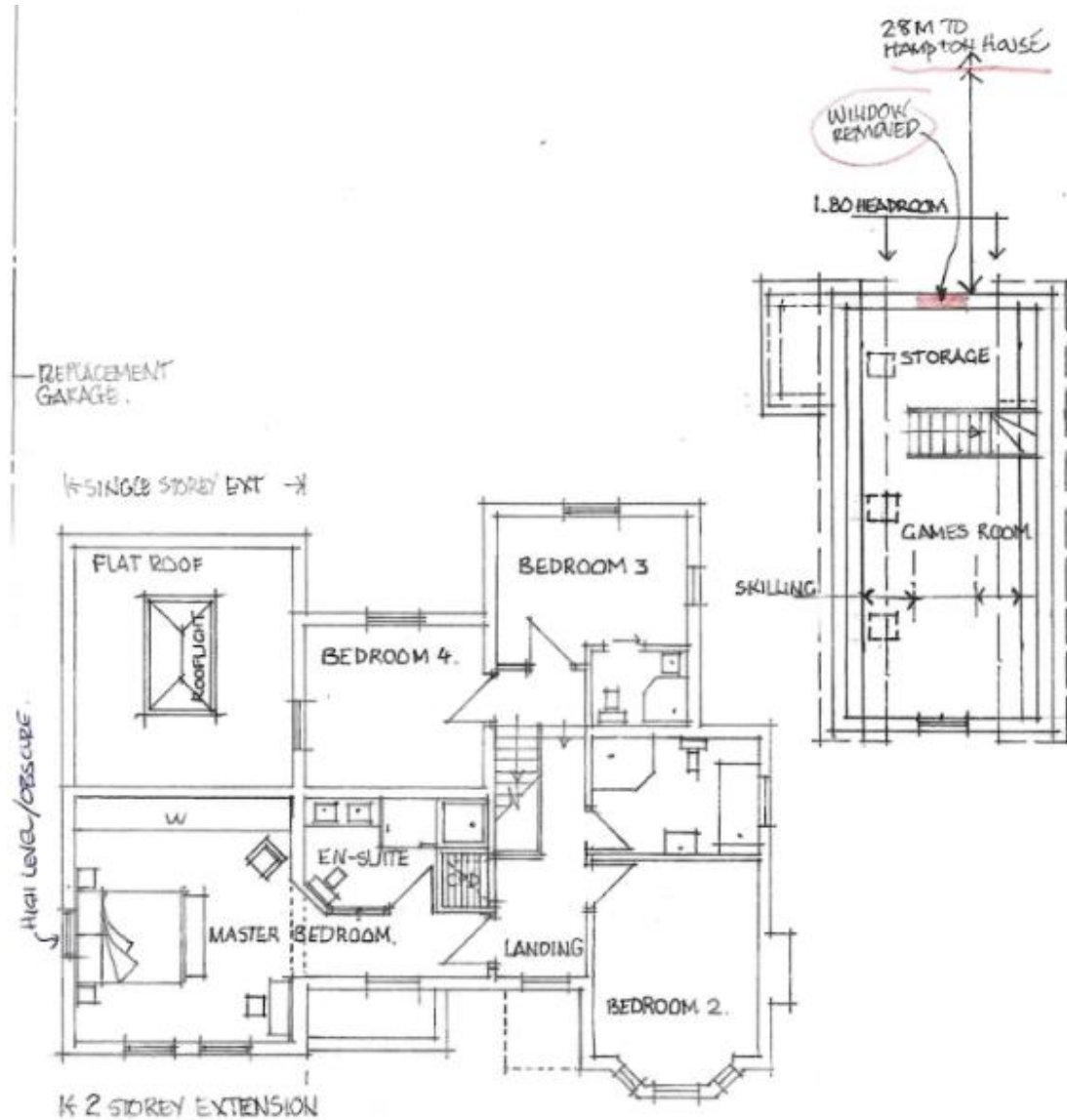
Page 82



PROPOSED GROUND FLOOR PLAN. 1:100@A3

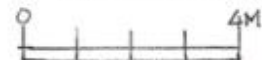
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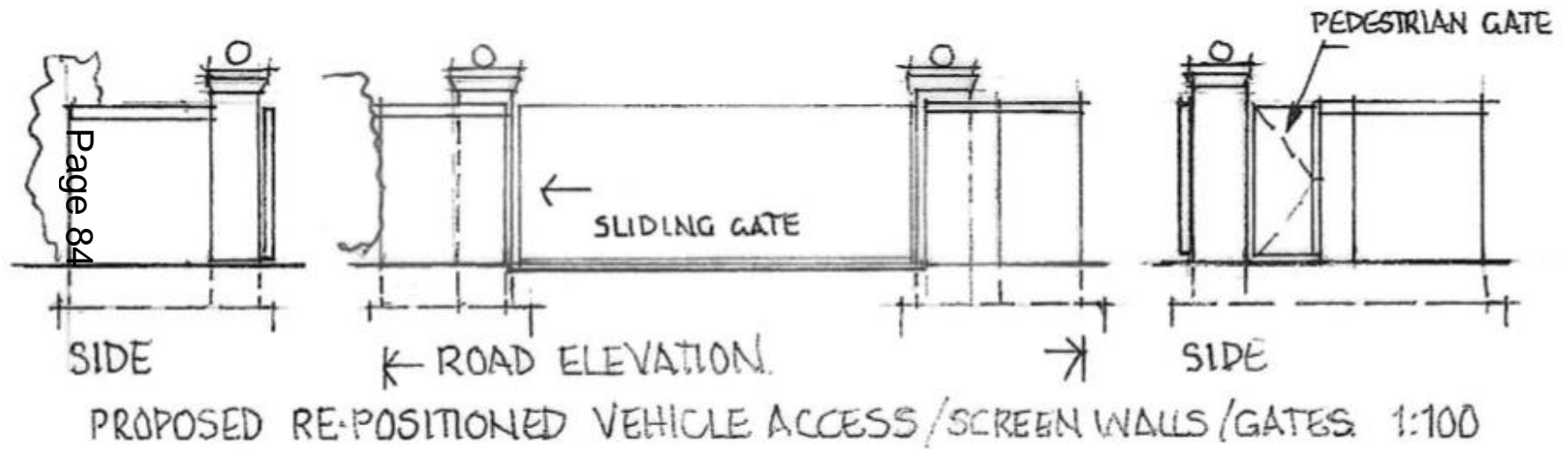
# Proposed First Floor Plan



PROPOSED FIRST FLOOR PLAN. 1:100

REV A, MAY 24 - FRONT ENTRANCE  
AMENDED / GARAGE FIRST FLOOR  
AMENDED - CIL - 98, 90 MSP.







## Photos from the Public Realm





## Photos of Application Site



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## Photos from Neighbouring Properties



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Photos taken from Merewether





## Photos from Neighbouring Properties



Photos of the Ground Floor Window at The Crest.

# **RECOMMENDATION - APPROVE**

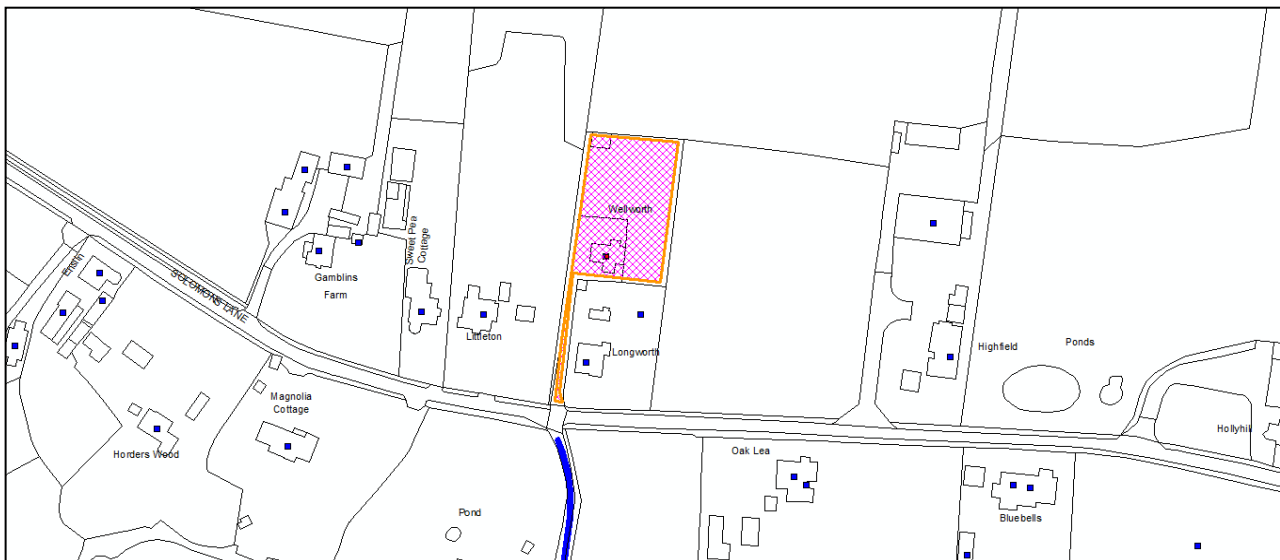
Proposal complies with Local Plan policies as set out within the report.

## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 24/00855/HOU  
**Proposal Description:** First floor extension to bungalow (retrospective to regularise prior notification 22/02416/PNASDH)  
**Address:** Forest Edge, Solomons Lane, Shirrell Heath, Southampton, Hampshire, SO32 2HU  
**Parish, or Ward if within Winchester City:** Shedfield Parish Council  
**Applicants Name:** Miss Mary Day  
**Case Officer:** Marge Ballinger  
**Date Valid:** 4 June 2024  
**Recommendation:** Permit  
**Pre Application Advice** Yes

**Link to Planning Documents:** 24/00855/HOU

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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### Reasons for Recommendation

The development is recommended for permission as the first floor extension (as partially built) and the dwelling's use of external materials are considered to not have a harmful impact upon the proposal site and the character of the semi-rural residential area in accordance with Policies DM15, DM16 and DM23 of the LLP2 and would not adversely harm neighbouring residential amenity (once completed) in accordance with policy DM17 of the LPP2.

### General Comments

**Case No:** 24/00855/HOU

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Shedfield Parish Council has requested for the application to be determined by Planning Committee, based upon material planning considerations is shown in Appendix 1.

### **Amendments to Plans Negotiated**

None.

### **Site Description**

Forest Edge (once known as Wellworth) is a 2-storey, 3-bedroom dwelling positioned north of the detached dwelling Longworth, and has access off of Soloman's Lane. The dwelling has a south-facing front elevation and a sizeable side and rear garden. There is existing hard-standing along its front, side and rear near the dwelling (once gravelled), with a grassed rear garden. Internal and external finishing works to the dwelling are still pending, but the majority of the external works have been completed. There are high hedges along its front boundary toward the dwelling Longworth and to its side boundaries, with unobstructed rear views north through a post-and-rail fence. There is agricultural and grazing land to the north and east of the site. Soloman's Lane in this part of the immediate area is described as "horticulture and small holdings" within the WCC Landscape Character Assessment, and maintains a semi-rural residential setting.

### **Proposal**

In 2022 an application (reference 22/02416/PNASDH) was submitted and approved to add an additional storey to the dwelling under Class AA, Part 1 Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). This legislation sets out national grants of permission which are known as permitted development rights. These allow certain building works and changes of use to be carried out without having to make a planning application. For some types of permitted development, such as that set out in Class AA, there is a simplified process, known as Prior Approval that must be completed and agreed before any works can be commenced. The process for Class AA applications allows for consideration of a limited number of matters only and does not allow for consideration of local plan policies, including Neighbourhood Plans, or matters of character and appearance other than the need for materials to match those used to construct the original dwelling. There is no requirement for materials to reflect local character.

Class AA allows for the enlargement of a dwelling house by construction of additional storeys under the Prior Approval route. For a detached single storey dwelling, one additional storey can be added subject to the resultant dwelling not exceeding 18 metres in height, not raising the highest part of the roof by more than 3.5 metres and limitations on the internal floor to ceiling height of any additional floor. These are the only matters of scale and massing that can be considered. The development is also subject to conditions which require that the materials used are of similar appearance to those used

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in the construction of the exterior of the dwelling; that there are no windows in a side elevation and that the roof pitch of the principal part of the dwelling following the development must be the same as the roof pitch of the existing dwellinghouse. All of these limitations were found to be met when the Prior Approval application was agreed and Condition 2 of the decision which required the use of similar materials to those in the original dwelling was imposed.

The development has been carried out without complying with the materials condition. Instead of using a red brick for the elevations and a red/brown concrete tile for the roof, the first floor and roof have been completed with a dark grey tile. As the development is contrary to the requirements of the Prior Approval it is therefore unauthorised. In all other regards the development accords with the Prior Approval.

The proposal is to regularise the as-built first-floor extension and its use of materials of dark grey tile with light render to ground floor level.

The plans for the development as built also differ from the agreed plans in that roof lights have been added and there are some minor changes to the position of windows and doors.

### **Relevant Planning History**

- 81/00092/OLD (W595/07) – Erection of garage/store (Longworth) – permitted 18.03.1981
- 88/00086/OLD (W595/10) – Bungalow and Store (Longworth) – refused; appeal dismissed 09.03.1988
- 99/00586/LDC - Existing use as a separate dwelling house (Wellworth) (Certificate of Lawfulness) permitted 05.07.1999
- 22/02416/PNASDH - Construction of an additional storey on existing bungalow (Forest Edge) – prior approval required; approved 09.12.2022

### **Consultations**

None.

### **Representations:**

Shedfield Parish Council –

Shedfield Parish Council would like to object to this application for several reasons.

1. It goes against the original proposed conditions which were to blend in with the neighbouring locations. These conditions have seemingly been ignored by the applicant.

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2. It is considered by the Parish Council that this application is a way to legitimise non-compliance with the original application.

3. The house does not fit in with other properties in the close environs; and is considered by some to be an eyesore. As the property is so contrasting in size, shape and colour to its neighbours it appears prominent, noticeable and is therefore not in-keeping.

4. The application conflicts with the criteria of Policies DM15, DM16 and DM23 of the Winchester Local Plan Part 2. Taken together, these policies require that development respect the qualities, features and characteristics that contribute to the distinctiveness of the local area, responds positively to the character, appearance and variety of the local environment and that they not have an unacceptable effect on the rural character of the area.

5. It also goes against the Village Design Statement:

Design Guidelines 5

1. a) New development should be designed to match or complement the styles and materials of existing buildings in the area. LP policies CP13, DP3 (emerging DM16, DM17).

Shedfield Parish Council ask that this application is referred to the Planning Committee for consideration.

Four Objecting Representations received from two different addresses citing the following material planning reasons:

- Does not comply with Policy DM3 for extensions limited to 25% of the original dwelling (if outside the settlement boundary, and originally had floor measurements of less than 120 square metres).
- Exterior materials out of character with the area; creates an urban-style building in the rural setting.
- Visible from Soloman's Lane and as far as Forest Road.
- Building not fit with the local topography; the building stands out and is obtrusive; overbearing.
- First floor windows along the south elevation are not obscured as per the condition required within ref 22/02416/PNASDH.
- The use of materials is not compliant with Shedfield Parish's Village Design Statement.
- Application would set a precedent for any new development in the area.
- Site notice was placed upon a telephone pole on land of neighbouring dwelling (Littleton); did not receive neighbour notification letters.

No representations received in support.

**Relevant Government Planning Policy and Guidance**

**Case No: 24/00855/HOU**

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National Planning Policy Framework (December 2023)

- Para 7 - the proposal meets the needs of the present without compromising the ability of future generations to meet their own needs. The test of sustainable development includes the economic, social and environmental objectives.
- Para 39 – LPA to approach planning decisions in a positive and creative way and work pro-actively with applicants that will improve economic, social and environmental conditions of the area. Decision makers should seek to approve applications for sustainable development where possible.
- Para 47 - planning law requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise.
- Para 126 – the creation of high quality, beautiful and sustainable buildings and places is fundamental to the planning process.
- Para 185 – Planning decisions should ensure development (a) mitigates and reduces potential adverse noise impacts on health and quality of life and (b) protect tranquil areas undisturbed by noise and (c) limit the impact of light pollution on local amenity.

National Planning Practice Guidance

- Use of Planning Conditions: Paragraph: 001 Reference ID: 21a-001-20140306

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- DS1 – Development Strategy & Principles
- CP13 – High Quality Design
- CP16 – Biodiversity

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM1 – Location of Development
- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking
- DM23 – Rural Character
- DM24 – Special Trees, Important Hedgerows and Ancient Woodlands

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Residential Parking Standards 2009

Shedfield Village Design Statements

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023

Nature Emergency Declaration

Statement of Community Involvement 2018 and 2020

Landscape Character Assessment April 2022

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## **Planning Considerations**

### **Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 47 of the National Planning Policy Framework (NPPF, 2021) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The proposal is outside the settlement boundary. Outside defined settlement boundaries, development proposals which accord with the Development Plan will be permitted where they do not have an unacceptable effect on the rural character of the area, by means of visual intrusion, the introduction of incongruous features, the destruction of locally characteristic rural assets, or by impacts on the tranquillity of the environment (Policy DM23).

The proposal details above outline the permitted development regime relevant to this proposal. Forest Edge was once an ancillary building to Longworth (dwelling to the south) that became a lawful dwelling along with its surrounding garden in 1999 (reference 99/00586/LDC). The original dwelling was built of red brick and a concrete tiled roof and had an external floor plan measurement of 98 square metres prior to the demolition of two conservatories. The dwelling and its extended garden land was subdivided from the host dwelling and sold to the current applicant.

Although Policy DM3 of WCC's LPP2 controls extensions to be no more than 25% greater than the floor area of the original floor area for dwellings with less than 120 square metres of floor area outside the settlement boundary Class AA of Schedule 2, Part 1 of the GPDO does not allow for these limitations to be considered. Given the previous permission under reference 22/02416/PNASDH the first floor extension is a form of development that is deemed by national permitted development rights to be acceptable regardless of its location. The proposed drawings submitted with the current application confirm that the size and scale of what has been built is compliant with what was agreed under Prior Approval. It is the decision of the applicant to finish the development in materials which are not similar to those used in the construction of the original dwelling which render it unauthorised and accordingly it is considered reasonable to agree the principle of the current application to regularise the additional first floor and its raised and altered roof.

### **Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

### **Impact on character and appearance of area**



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In reaching the conclusion in respect of the principle of the development as above, visual impact of the development has also been considered. The ground is quite level near the proposal when compared with adjacent dwellings, but slightly slopes down from southeast to northwest. There is a public right-of-way path located south of the proposal site across Soloman's Lane (approximately 64m south), and from that viewpoint only glimpses of the roof are visible behind other dwellings more prominent and nearer the road. Given the distance and scarce views of the roof only from the public right-of-way, it was not considered necessary to advertise in the local paper or consult with HCC Countryside Services to assess the impact visually upon the right-of-way access. Although the dwelling may be visible from other longer distances across fields and residential gardens, the resulting impact is not considered to have a detrimental impact upon the rural setting.

Notwithstanding that the materials used in the construction of the first floor and roof do not comply with the original Prior Approval the grey hanging wall tiles and the roof tiles are considered to be acceptable in the rural setting. Dark grey or black timber cladding and corrugated sheeting is commonly seen on rural buildings in the countryside, as seen in a building within Gamblins Farm approximately 100m west and visible from Soloman's Lane.

The Shedfield Parish Village Design Statement states within its Design Guideline 5(a) that "new development should be designed to match or complement the styles and materials of existing buildings in the area". Although brick was the original material for the dwelling on the site and is used commonly within nearby dwellings, there is also timber cladding, hanging tile and light render visible as well in nearby dwellings and buildings. The proposal also retains the original dwelling's design and footprint. Given there is no set pattern of building designs, positions or plot sizes within the immediate area, and the proposal is set back from the road behind other dwellings by approximately 52m, what is built does not represent a dominant or harmful impact upon the streetscene.

The additional changes of rooflights and window positions within the dwelling are not considered to have any visual impact upon the site and setting when compared with the approved versions. Condition 6 of the application 22/02416/PNASDH included obscure-glazing or glazing film to the south-facing first floor windows. The dwelling still requires internal and external finishes, so this condition will be carried through into the current application (Condition 2). Condition 4 of 22/02416/PNASDH for a construction management plan had not formally been discharged prior to commencement but as the majority of the building works have been completed, it is no longer necessary to impose any construction management condition.

The dwelling's position further back from the roadside appears subservient to the dwellings closer to the road, and the dark hanging tile is considered more recessive when viewed from public areas. The use of the materials and window/door alterations are not considered to demonstrate a level of harm that requires further alterations or a refusal of the application. Therefore, the proposal is compliant with policies CP13 of the LPP1 and DM15, DM16 and DM23 of the LPP2.

### **Development affecting the South Downs National Park**

The application site is located approximately 1.7km from the South Downs National Park.

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Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2023. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance, an adverse impact on the National Park and its statutory purposes is not identified.

In conclusion the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

### **Historic Environment**

The works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting, given the distance from any listed buildings or conservation areas.

### **Neighbouring amenity**

As part of the statutory publicity requirements for all planning applications, an orange site notice was displayed on a pole nearest the driveway to the proposal site, and adjacent neighbours Littleton and Longworth had neighbour notification letters printed and mailed out on the 11<sup>th</sup> of June 2024.

Longworth is a detached dwelling located south of the proposal site. Longworth had permission to extend into the loft in 2020, and has a garage and various garden buildings in its rear garden. It shares a boundary adjacent to the parking area of the proposal site. The rear elevation of Longworth measures approximately 19m to its rear boundary hedge, and the proposal is positioned approximately 6m back from the boundary hedge and in-line as existing with Longworth. The first floor rooms on the south elevation of Forest Edge are for en-suites, a bathroom and a stairwell. The previous condition to obscure-glaze or add glazing film to first floor windows along the south elevation will be added into this decision (Condition 2) to prevent any harmful overlooking impacts to Longworth. The distance of approximately 25m between dwellings does not represent harmful overbearing or overshadowing impacts to Longworth.

Littleton is a detached dwelling located southwest of the proposal. There is a 35m gap between the dwellings. Although the proposal is approximately 7m from the side boundary of Littleton's rear garden, there are no side-facing windows within the first floor extension, and views toward the dwelling's primary outdoor amenity space is limited due to the

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existing planting and tree screening. No further overlooking, overbearing or overshadowing impacts are expected to Littleton.

Highfield is a detached dwelling located approximately 115m east of the proposal. There is an open field in the land between the dwellings. Due to the existing distance between the two dwellings, no further overlooking, overbearing or overshadowing impacts are expected to Highfield.

Overall, in consideration to all nearby neighbouring amenities, the proposal complies with Policy DM17 of the LPP2.

### **Sustainable Transport**

The proposal has existing off-road parking for up to three vehicles and turning space to allow a forward exit onto the main road. There are no new or altered access proposed onto Soloman's Lane to consider within this application.

In accordance with Section 18 (1) (d) of the Order, Hampshire County Council has determined that it will discharge its consultee responsibilities as the LHA through the provision of Standing Advice for the residential development of 1 to 5 new dwellings, served by an access onto an unclassified road. The standing advice does not apply to household developments without a new or altered access.

The local planning authority is satisfied that the application is in accordance with the Standing Advice, is not likely to result in a material increase or change in the volume or character of traffic entering or leaving a highway. It is therefore concluded that there are no highway reasons to refuse the application and it is also considered to comply with policy DM18 of LPP2.

### **Ecology and Biodiversity**

The proposal will have no impact as it is not development within, bordering or in close proximity to a European Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) or is not new overnight accommodation affecting Nitrates.

Due to the nature of the development and the distance between the application site and the European Protected Site of the Solent SAC and SPA and the River Itchen SAC, an Appropriate Assessment under the Conservation of Habitats & Species (Amendment) Regulations 2011 is not required.

Research within the HCC and WCC ecological databases were undertaken. The site has been flagged for potential for great crested newts as there are ponds in the area outside the proposal's site. However, these ponds are more than 100m away from the Forest Edge and its garden, so there is no statutory requirement to consult with our newt officer or require further ecological surveys. Therefore, the proposal complies with policy CP16 of the LPP1.

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### **Sustainable Drainage**

The site is within Flood Zone 1, and has a low probability of flooding from rivers and the sea. There is a low risk of surface water flooding (between 0.1% and 1% chance each year), so there was no requirement to obtain a flood risk assessment. The proposal will have no impact on drainage because the site has existing residential use. The proposal will be subject to a Building Control inspection (Informative 4). Therefore, the proposal complies with policy DM17 of LPP2.

### **Trees**

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term. The application site and surrounding area does not contain any trees. The proposal will therefore comply with policy DM24.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

Forest Edge maintains the form, design, scale, and massing agreed under application reference 22/02416/PNASDH and has facing materials currently of light render to its ground floor and dark grey slate to its first floor and roof. Although the materials are varied from what can be seen within the adjacent dwelling or from its original red brick, the finish is not considered to have a detrimental effect on the area's character. The previous window glazing condition will be added into this decision to prevent harmful impacts to privacy of Longworth located south, and no further harmful impacts are expected to any adjacent neighbouring amenities. The application is therefore considered to be acceptable and in accordance with the development plan and material planning matters do not indicate an alternative approach should be taken.

### **Recommendation**

Permit, subject to the following conditions:

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**Conditions**

1. The development hereby approved shall be as already built on site and shown in the following plans received: -

- Location Plan dated 18 April 2024
- South Elevation (Proposed), East Elevation (Proposed) within drawing E1.1 dated April 2024
- North Elevation (Proposed), West Elevation (Proposed) within drawing E2.1 dated April 2024
- Proposed Floor Plans within drawing FL:Confirmed Layout dated April 2024

Reason: In the interests of proper planning and for the avoidance of doubt.

2. The first floor windows in the south elevation of the extension hereby permitted shall be glazed with obscure glass (or film) which achieves an obscuration level at least equivalent to Pilkington Obscure Glass Privacy Level 4, unless otherwise agreed in writing by the local planning authority, and the glazing shall thereafter be retained in this condition at all times. Other methods of obscure-glazing (such as stained glass) would also be acceptable.

Reason: To protect the amenity and privacy of the adjoining residential properties.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be those as detailed in the Materials section of the associated application forms and as partially built.

Reason: To ensure a satisfactory visual relationship between the new development and the existing.

**Informatives:**

1. In accordance with paragraph 38 of the NPPF (2023), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:
  - offer a pre-application advice service and,
  - update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.In this instance a site meeting was carried out with the applicant.
2. The Local Planning Authority has taken account of the following development plan policies and proposals: -
  - Local Plan Part 1 Joint Core Strategy: DS1, CP13, CP16
  - Local Plan Part 2: DM1, DM3, DM15, DM16, DM17, DM18, DM23
3. This permission is granted for the following reasons:

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The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

4. Please be advised that Building Regulations approval may be required for this development. Please contact WCC Building Control Department for more information <https://www.winchester.gov.uk/building-control>
5. Biodiversity Net Gain Informative for applications exempt from BNG  
Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements (as set out in paragraph 17 of Schedule 7A of the Town and Country Planning Act 1990 and the Biodiversity Gain Requirements (Exemptions) Regulations 2024) are considered to apply as follows:
  - The Development is for a householder application
6. In order to promote biodiversity, please consider the installation of erecting appropriate bat/bird roosting/nesting provision after completion of the proposal. For further advice, please refer to:  
<https://www.bats.org.uk/our-work/buildings-planning-and-development/bat-boxes>  
or <https://www.rspb.org.uk/birds-and-wildlife/helping-birds-and-wildlife>.

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**Appendix 1**

**City Councillor or Parish Council's request that a Planning Application be considered by the Planning Committee**

<b>Request from Councillor/Parish: Shedfield Parish Council</b>
<b>Case Number: 24/00855/HOU</b>
<b>Site Address: Forest Edge, Solomons Lane, Shirrell Heath, SO32 2HU</b>
<b>Proposal Description: First floor extension to bungalow (retrospective to regularise prior notification 22/02416/PNASDH)</b>
<p><b>Requests that the item be considered by the Planning Committee for the following material planning reasons:</b></p> <p>Shedfield Parish Council would like to object to this application for several reasons.</p> <ol style="list-style-type: none"><li>1. It goes against the original proposed conditions which were to blend in with the neighbouring locations. These conditions have seemingly been ignored by the applicant.</li><li>2. It is considered by the Parish Council that this application is a way to legitimise non-compliance with the original application.</li><li>3. The house does not fit in with other properties in the close environs; and is considered by some to be an eyesore. As the property is so contrasting in size, shape and colour to its neighbours it appears prominent, noticeable and is therefore not in-keeping.</li><li>4. The application conflicts with the criteria of Policies DM15, DM16 and DM23 of the Winchester Local Plan Part 2. Taken together, these policies require that development respect the qualities, features and characteristics that contribute to the distinctiveness of the local area, responds positively to the character, appearance and variety of the local environment and that they do not have an unacceptable effect on the rural character of the area.</li><li>5. It also goes against the Village Design Statement:  Design Guidelines 5 1. a) New development should be designed to match or complement the styles and materials of existing buildings in the area. LP policies# CP13, DP3 (emerging DM16, DM17).</li></ol> <p>Shedfield Parish Council ask that this application is referred to the Planning Committee for consideration.</p>



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# Forest Edge, Solomons Lane, Shirrell Heath, Southampton, SO32 2HU

First floor extension to bungalow  
(retrospective to regularise prior notification 22/02416/PNASDH)

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Application Number: 24/00855/HOU




Waltham  
Chase

Forest Edge

Soloman's Lane

Shirrell Heath  
High Street



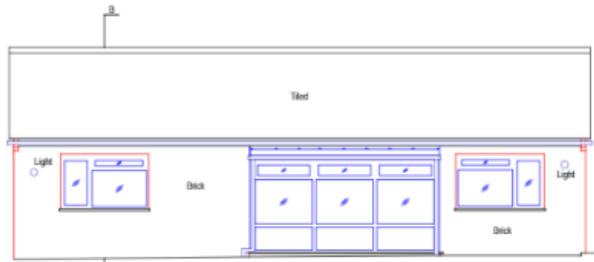


Forest Edge

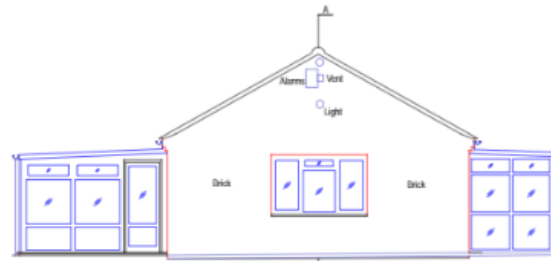
Soloman's Lane

Public ROW

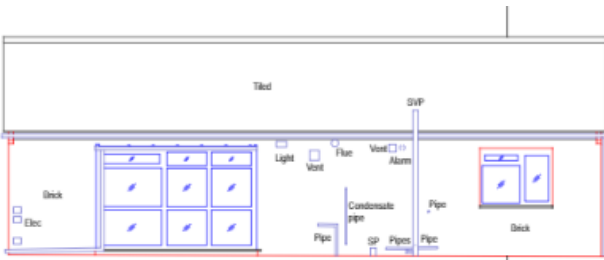
# Original Bungalow (prior to Class AA extension)



Front / South



Side / East



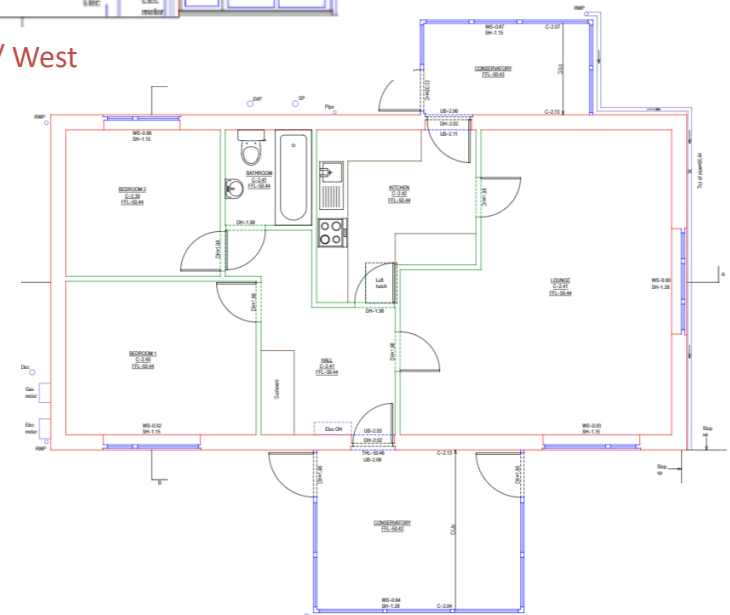
Rear / North



Side / West

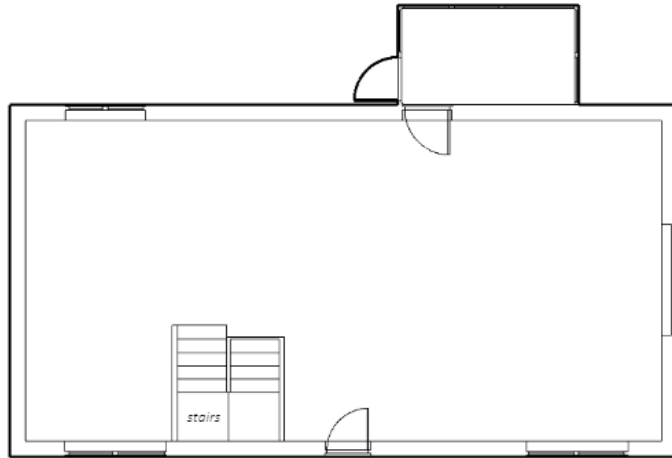


(after front conservatory demo)

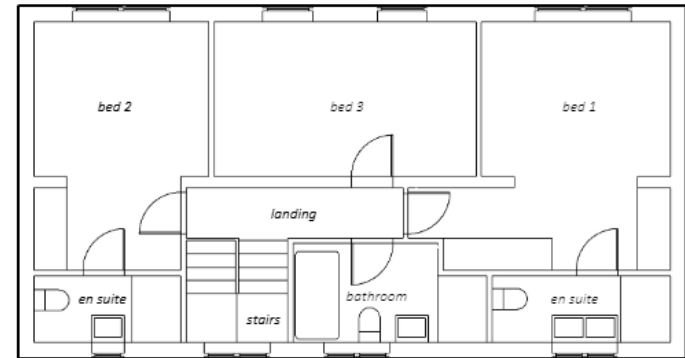


Floor Plan

## Class AA approved compared with Proposed (as-built) Plans

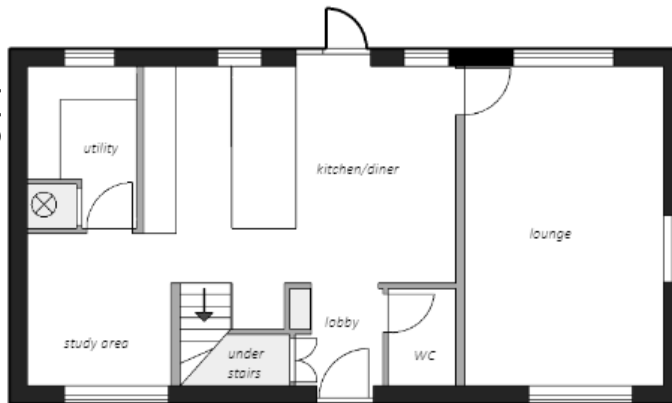


Class AA Ground Floor (prior to internal layout)

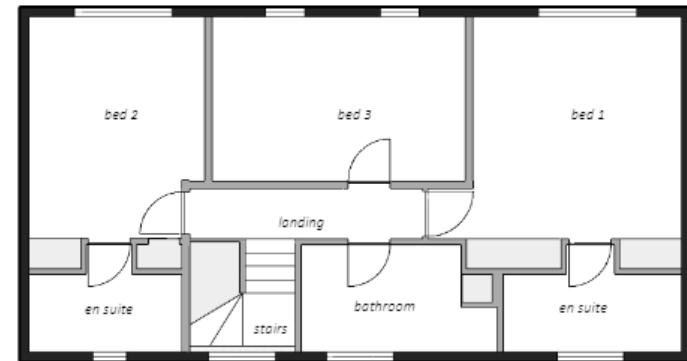


Class AA First Floor

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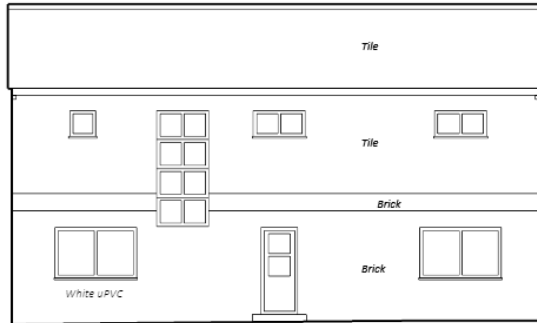


Proposed (as-built) Ground Floor

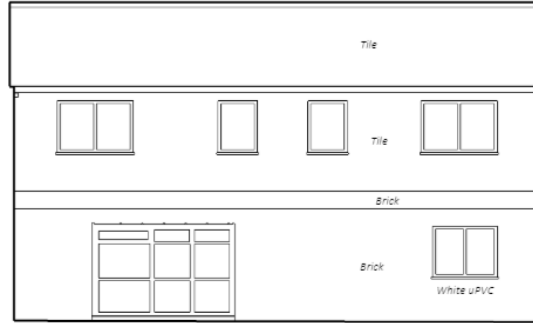


Proposed (as-built) First Floor

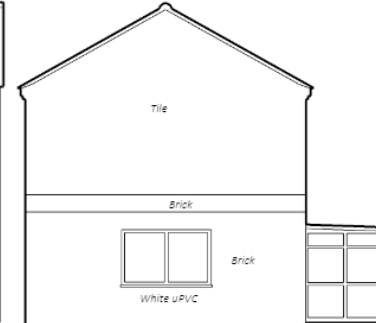
# Class AA approved compared with Proposed (as-built) Elevations



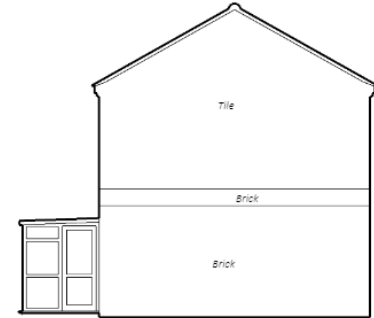
Class AA Front / South



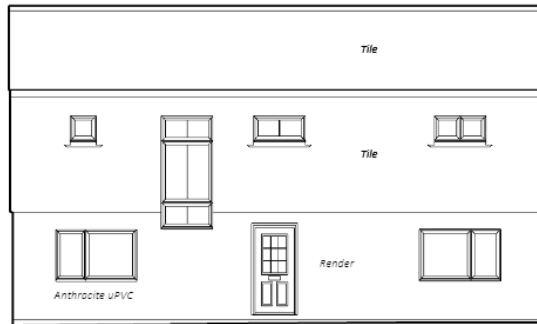
Class AA Rear / North



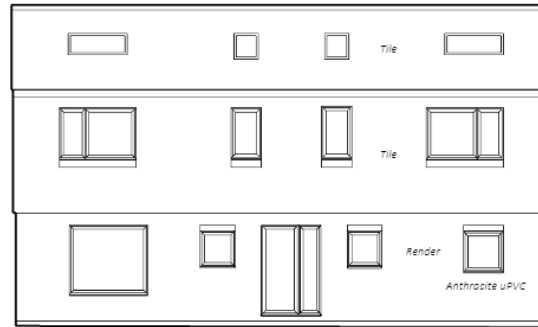
Class AA Side / East



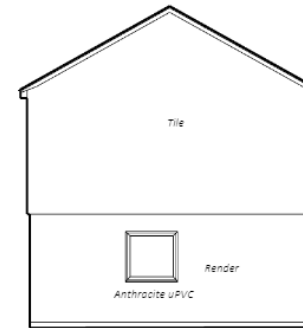
Class AA Side / West



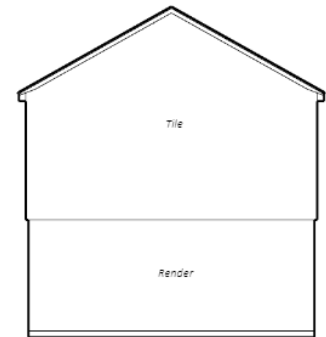
Proposed (as-built) Front / South



Proposed (as-built) Rear / North

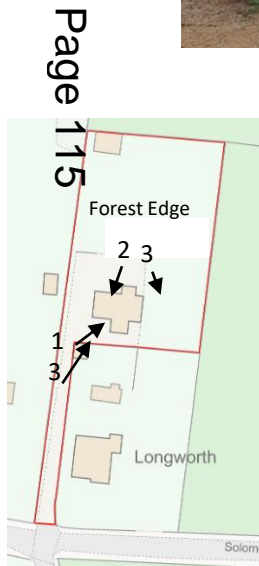


Proposed (as-built) Sides / East and West





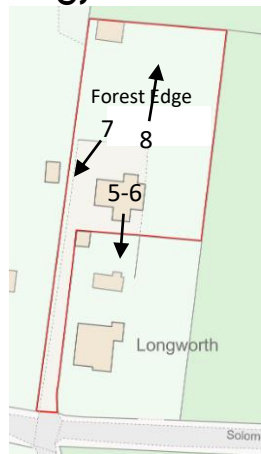
# As-built photos from proposal site



Roof: Marley Edgemere, smooth grey  
 Ground floor: K-rend thick coat, limestone white  
 First floor: Cedral Thrutone Smooth (blue-black)  
 Windows/doors: anthracite frames, front door black



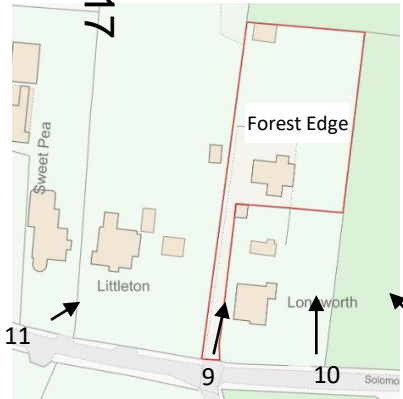
## As-built photos from proposal site toward adjacent land



Photos 5-6 toward Longworth (25m between dwellings)  
Photo 7 toward Littleton (35m between dwellings)  
Photo 8 toward northern fields



# Photos from public realm



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Roof: Marley Edgemere, smooth grey  
 Ground floor: K-rend thick coat, limestone white  
 First floor: Cedral Thrutone Smooth (blue-black)  
 Windows/doors: anthracite frames, front door black



## Photos from public realm (ROW)

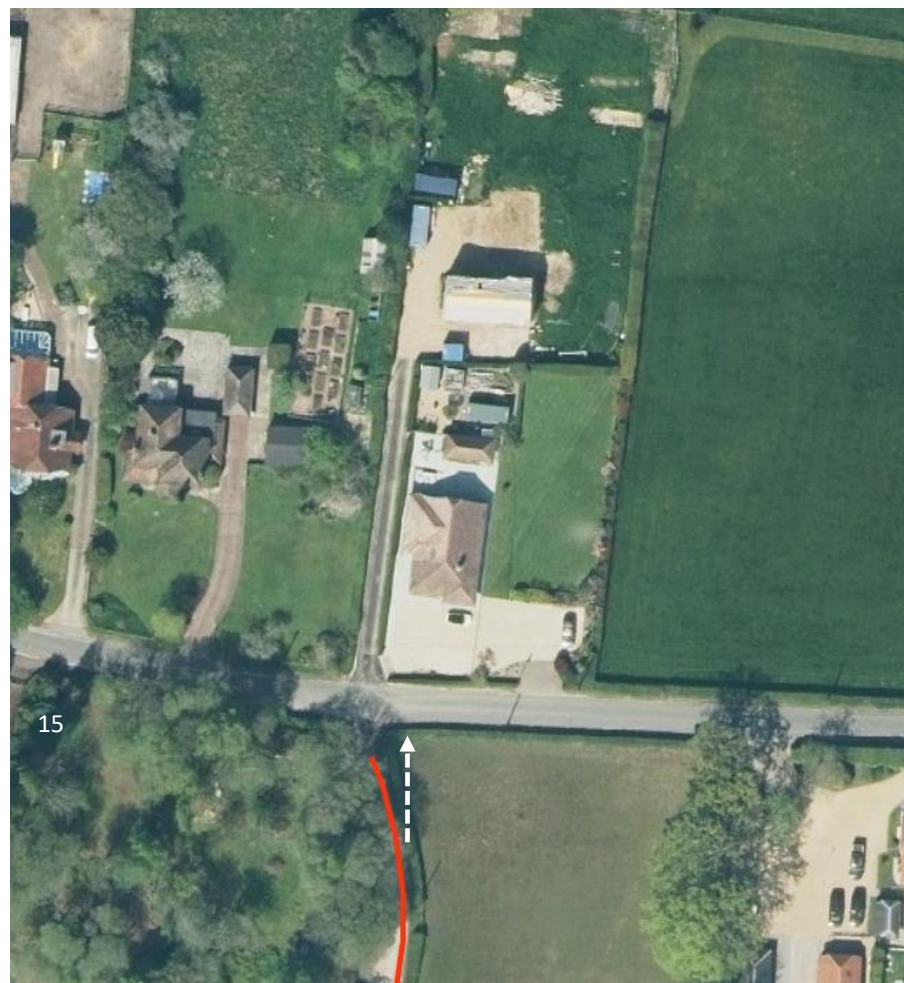


Photo 13 – view from Soloman's Road, ROW access on left

Photo 14 – view from ROW toward Forest Edge

Photo 15 – aerial map as reference

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## Photos from Longworth and adjacent land



Photo 16 – View from Longworth's first floor rear window

Photo 17 – View from across field (east)

Photos 18-19 – View from north (Forest Road)



# Recommendation – Permit

