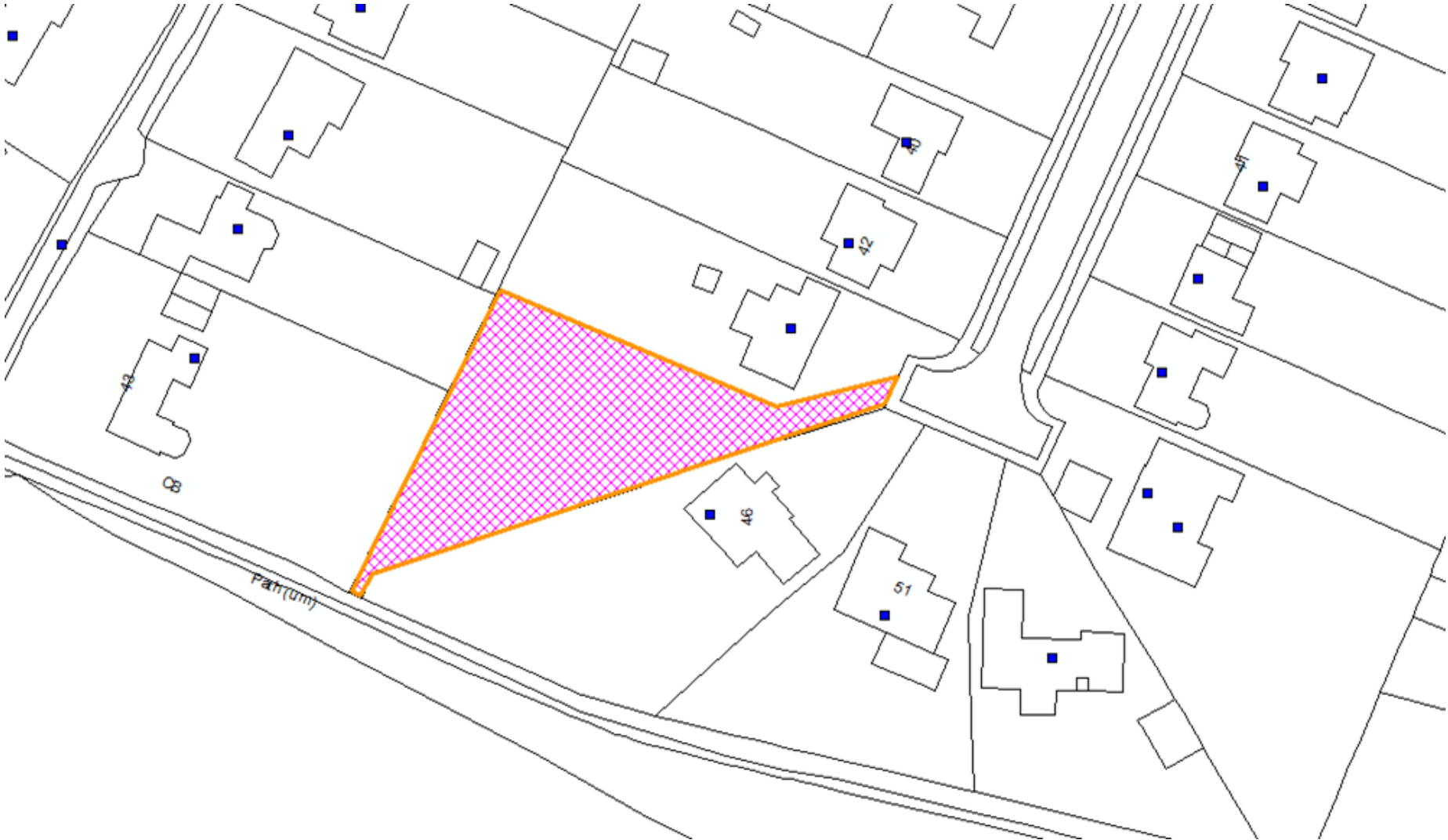


23/02552/FUL

New dwelling in the side garden of 44 Stockers
Avenue, Winchester

Site location plan



Aerial photo of the site



Block plan



Proposed site plan



All dimensions are in millimetres unless otherwise stated. All dimensions are to the centre of the wall unless otherwise stated. All dimensions are to the centre of the wall unless otherwise stated. All dimensions are to the centre of the wall unless otherwise stated. All dimensions are to the centre of the wall unless otherwise stated.

Proposed planting retained away from Road boundary

Area	Area	Area	Area
A	2000	10	10
B	2000	10	10
C	2000	10	10
D	2000	10	10

Key
 Site boundary

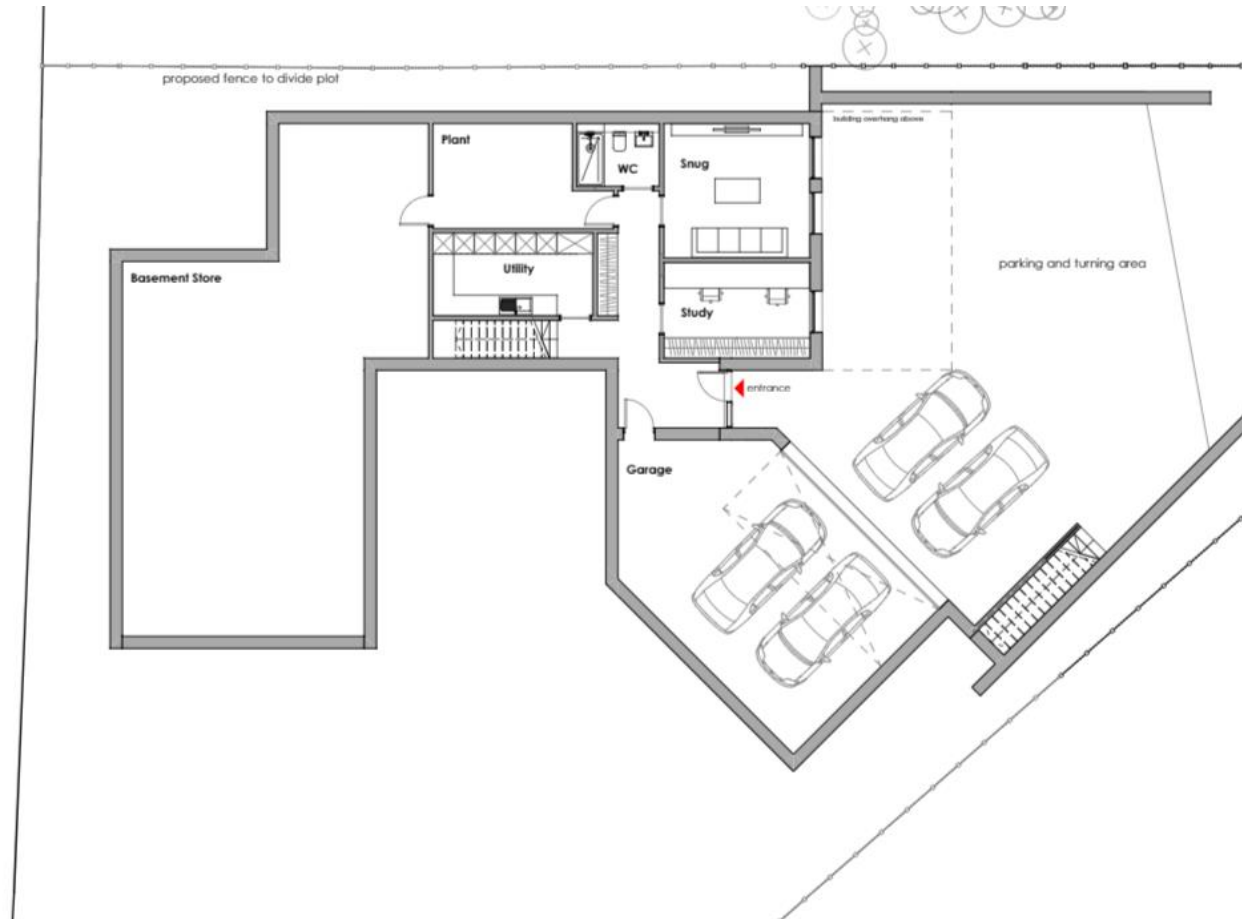


Land adjacent to:
 44 Stockers Avenue
 Winchester
 SO22 5JH

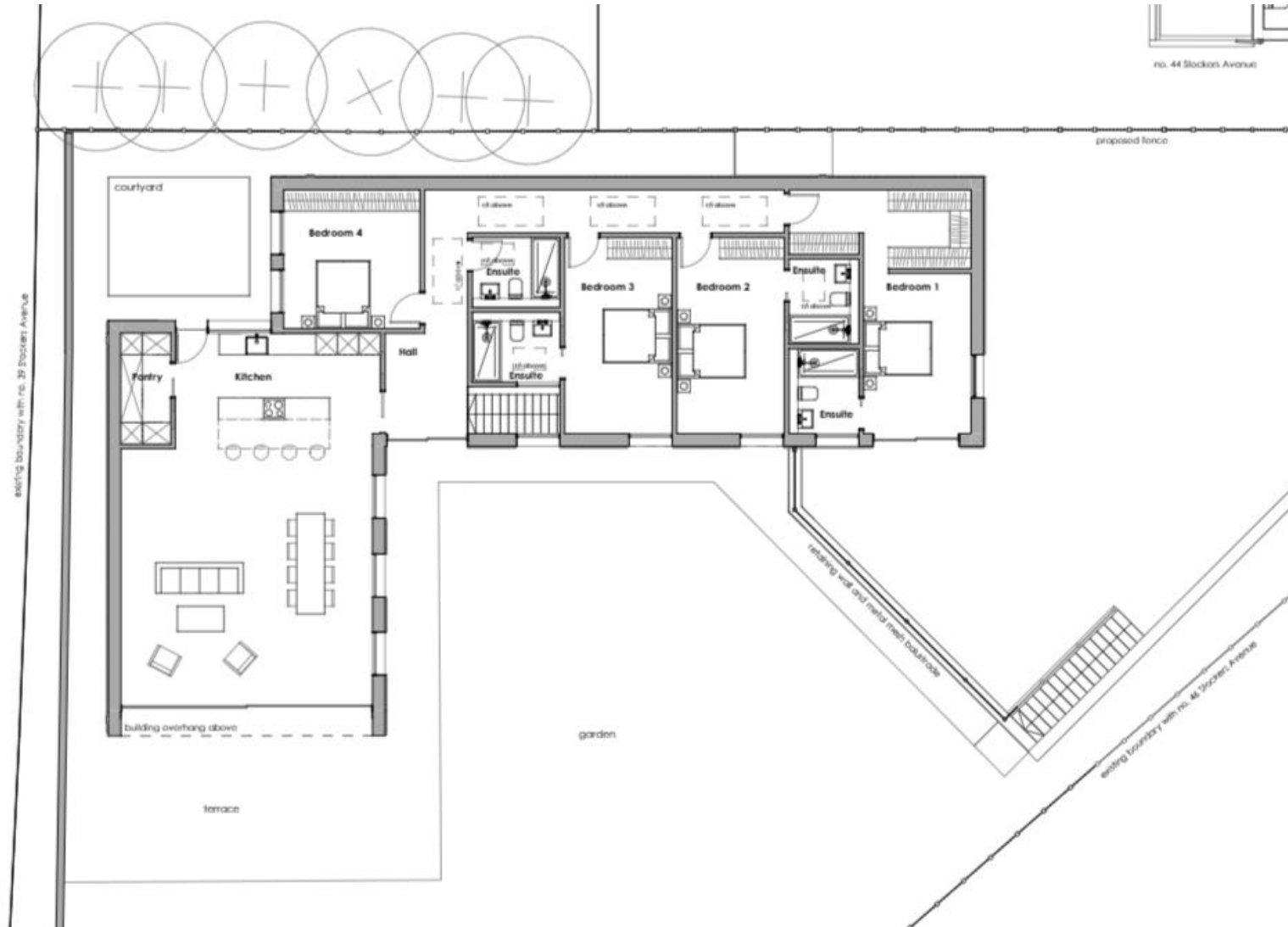
Combined Proposed Site Plan
 Planning 01/03/2024
 Scale 1:200
 A3
 Checked by JT
 2105B_PR_012_B

T2 architects
 21 City Road, London
 WC1E 6BT
 020 7463 1000
 www.t2architects.com

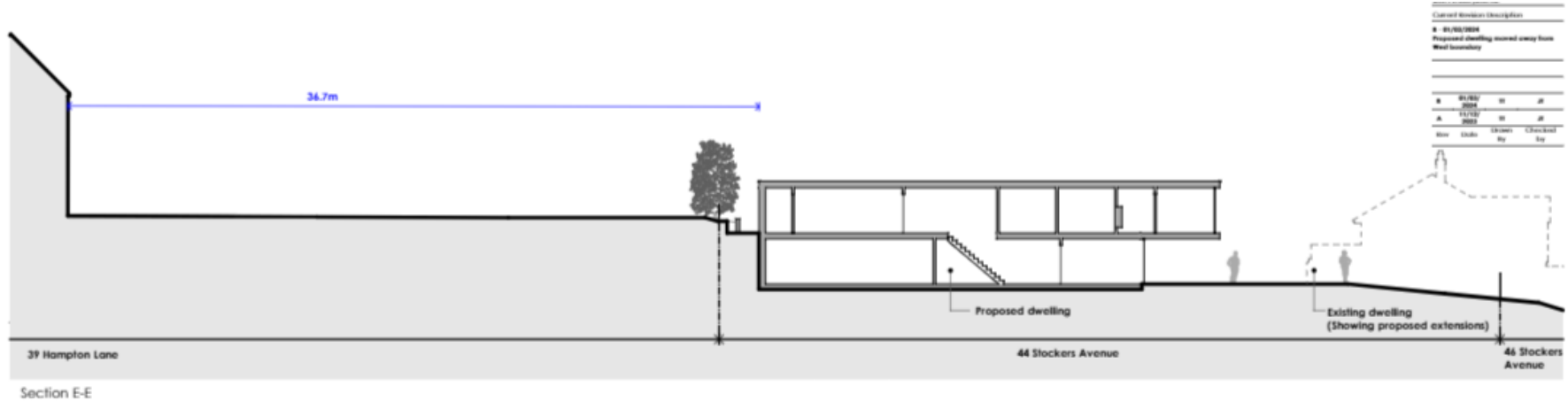
Proposed basement plan



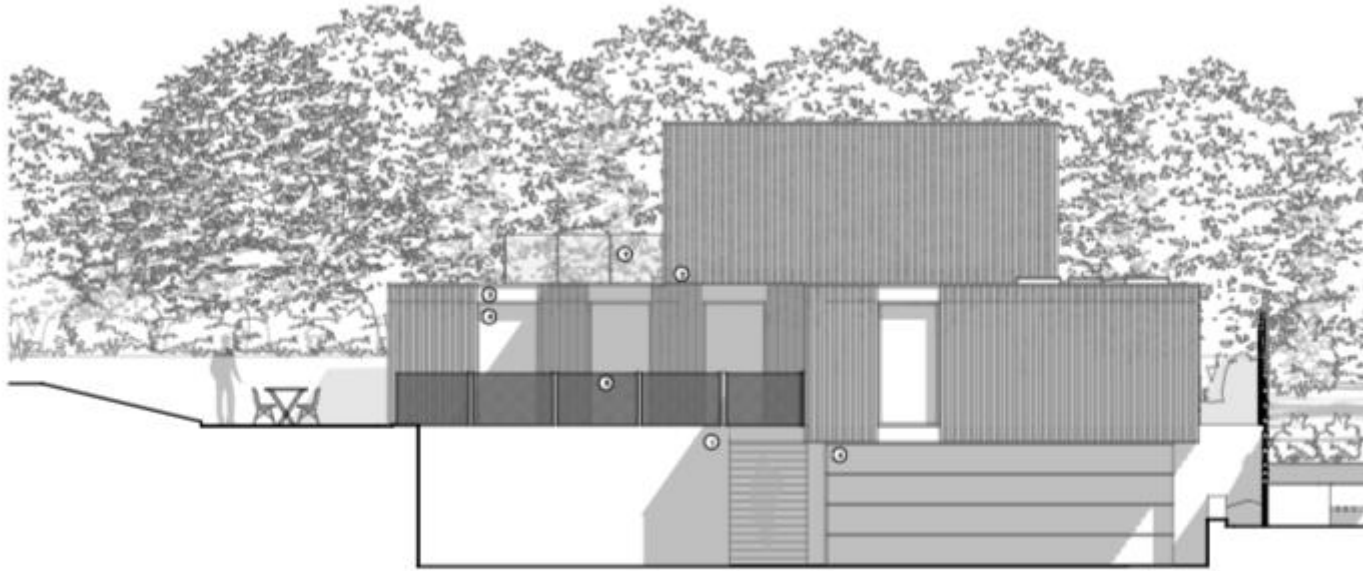
Proposed ground floor plan



Sections



Proposed east elevation superseded and amended



East Elevation

Superseded



East Elevation

Amended

Proposed south elevations – superseded and amended



Superseded

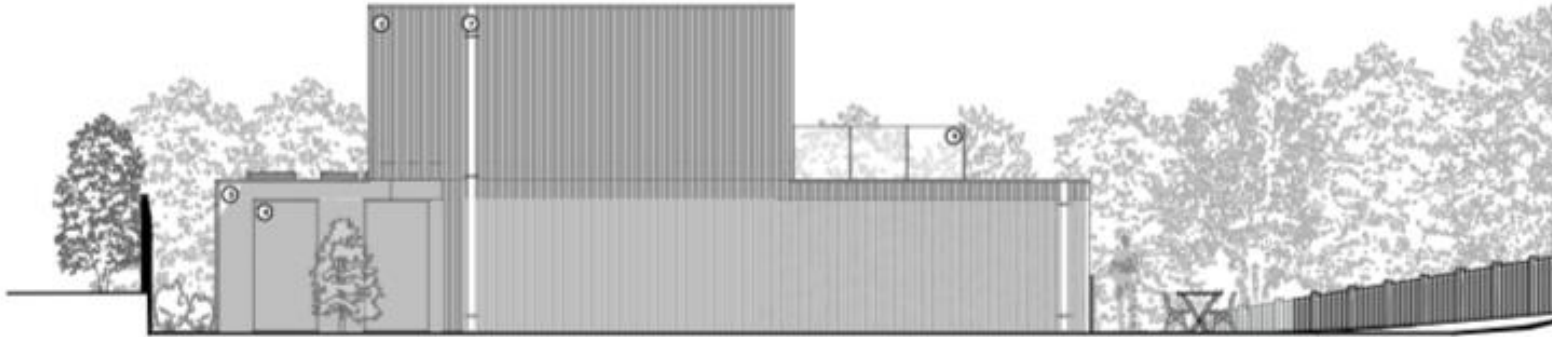
South Elevation



Amended

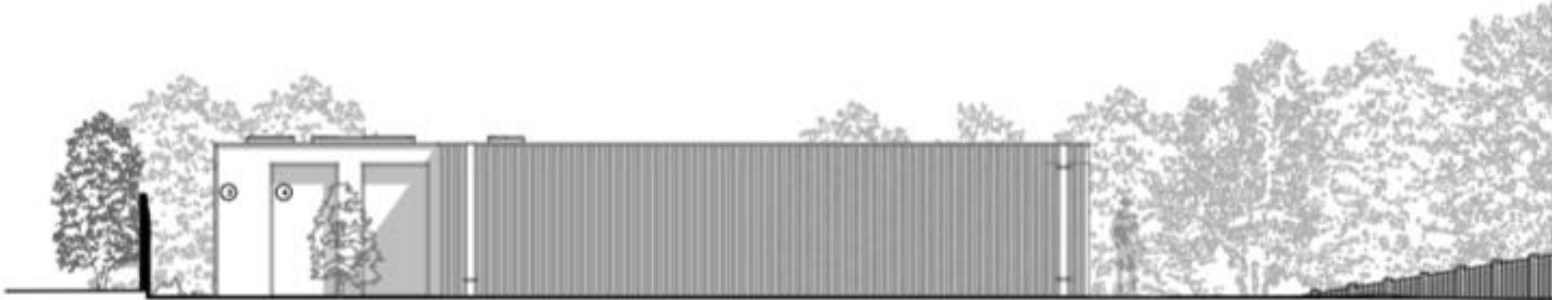
South Elevation

Proposed west elevations – superseded and amended



West Elevation

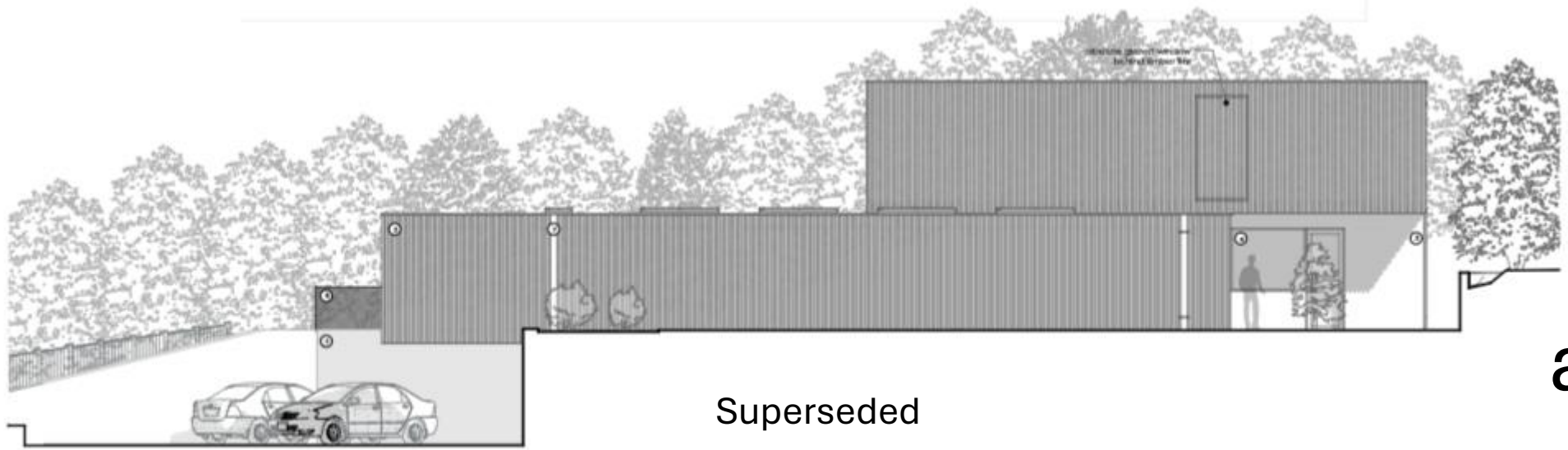
Superseded



West Elevation

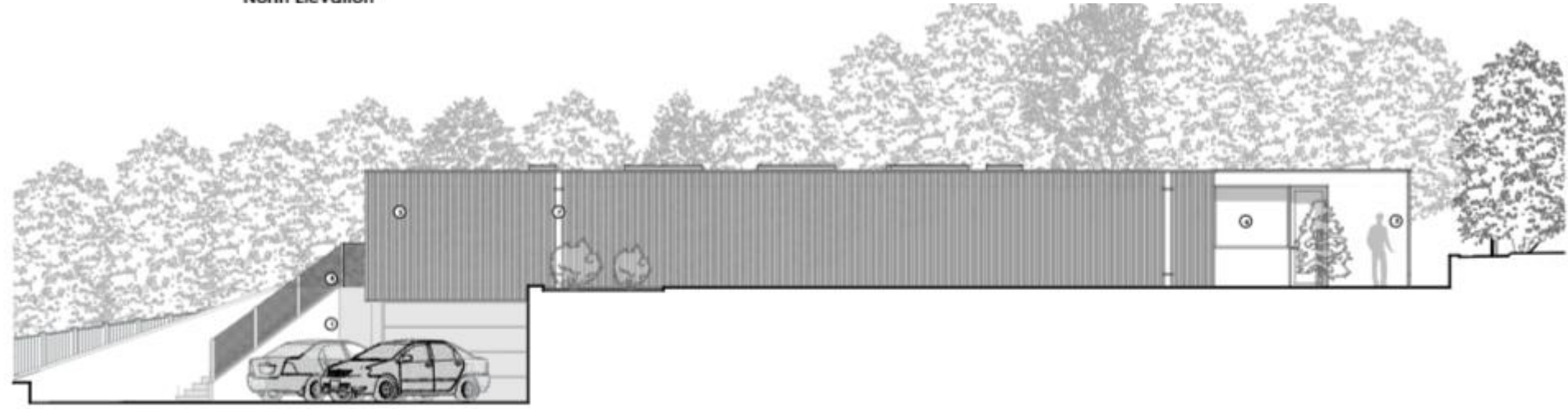
Amended

Proposed
north
elevation –
superseded
and amended



North Elevation

Superseded



North Elevation

Amended

Front of house



Side Garden



Side Garden



Rear garden of 44 Stokers Avenue



Side rear garden



Proposed access



Proposal



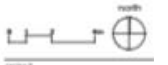
This document is a design concept only and does not constitute a contract. It is for the use of the client only and is not to be used for any other purpose. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the prior written permission of the architect.

Client Name: [Redacted]
 Date: 01/03/2024
 Proposed starting received away from:
 Plot Boundary

NO.	DATE	BY	FOR
1	01/03/2024	JK	JK
2	01/03/2024	JK	JK

Rev: 01/03/2024
 By: JK
 Checked: JK

Key
 Site Boundary ———



Project:
 Land adjacent to:
 44 Stockers Avenue
 Winchester
 SO22 5JH

Client:
 White
 Drawing:
 Combined Proposed Site Plan
 Date:
 Planning: 01/03/2024
 Scale:
 1:200 A3
 Drawing No.: 21
 Check No.: 21

Site No.: 2105B PR 012 B
T2 architects
 25 City Road, Colchester
 Essex, UK
 Colchester
 CO1 1JH
 T: 02067 244110
 E: info@t2architects.com
 www.t2architects.com