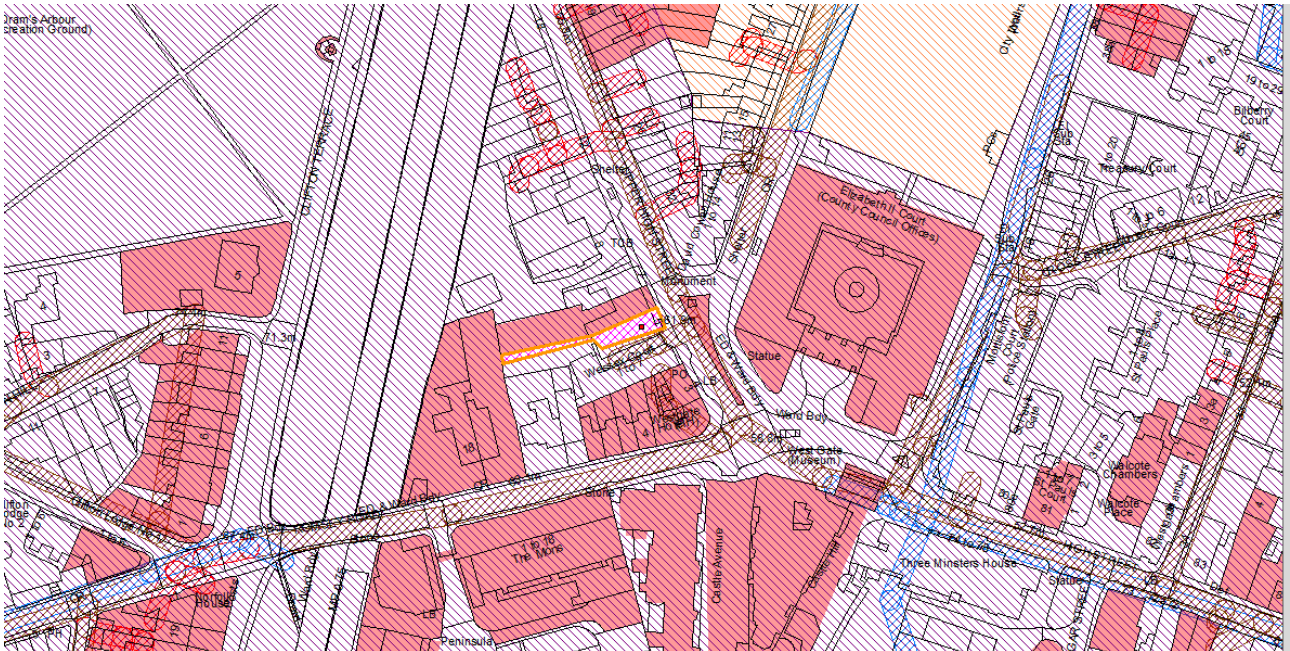


WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

Case No: 25/01678/LIS
Proposal Description: Addition of an extra storey to 5 Upper High Street to provide two flats, cycle stores, including minor external alterations and connection to the neighbouring listed building (revised plans)
Address: Monument House 5 Upper High Street Winchester Hampshire SO23 8UT
Parish, or Ward if within Winchester City: St Paul
Applicants Name: Liam Thomas
Case Officer: Joe Toole
Date Valid: 1 September 2025
Recommendation: Consent
Pre Application Advice Yes

Link to Planning Documents

[Link to page – enter in reference number 25/01678/LIS](https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple)
<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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Reasons for Recommendation

The development is recommended for **consent** as it is considered to maintain the setting and hierarchy of the adjoining listed building at No.6 Upper High Street and to preserve the character and appearance of the Winchester Conservation Area.

General Comments

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The application is reported to Committee due to the number of objections received contrary to the Officer's recommendation.

Amendments to Plans Negotiated

Amended plans were provided on the 20th and 23rd February 2026. These plans show the following:

- Reduced the height of the proposed extension
- Retained the existing height of the parapet wall
- Replaced hipped slate roof with metal roof with standing steams
- Replaced upper storey fenestration with roof dormer windows
- Set the roof back approximately 1.2 metres from the front
- Revised fenestration

The plans were readvertised to neighbours via letter notification and in the paper.

Site Description

Monument House, 5 Upper High Street, is an unlisted three-storey building situated on the west side of Upper High Street, within the Winchester Conservation Area.

The building is rendered in light blue with a parapet partially screening a hipped artificial slate roof set behind. On the ground floor, there is a wide-spanning shop window extending across the full width. Each storey above on the front elevation features two windows.

The building forms the southmost building of a terrace of 3 (No.5-7). The middle property, No.6 Upper High Street is Grade II listed building. It stands at a higher level to the adjoining building and is more prominent by virtue of its yellow brickwork and large windows. No.7, on the other side, stands at a similar height to No.5 (the application site), which is narrower and of different design. Listed Building Consent is required on this occasion as the application site adjoins a listed building.

The building is currently in use as offices. However, Prior Approval was granted for the creation of 6No. residential units within the premises under planning application reference 24/02048/PNRCOU.

Proposal

The proposal is for the addition of an extra storey to provide two flats, including minor external alterations and connection to the neighbouring listed building at No.6.

The proposal is for an extension to the existing Prior Approval permission under planning reference 24/02048/PNRCOU.

Relevant Planning History

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85/01229/OLD - Erection of single storey second floor rear extension, construction of new roof and other alterations - Post Office, Upper High Street Winchester. Permitted 28th November 1985.

24/02048/PNRCOU - Change of use from Class E Office to Residential Flats (Class MA Use Class E to C3). Internal Alterations to Provide 6 No. flats. Prior Approval Required and Approved 14th November 2024.

25/01677/FUL - Addition of an extra storey to 5 Upper High Street to provide two flats, including minor external alterations and connection to the neighbouring listed building (revised plans). Not yet determined.

Consultations

Service Lead – Built Environment (Historic Environment) – No objection subject to conditions

Representations:

City of Winchester Trust – No objection

The trust considers that this would be an improvement to the street scene and would have the added benefit of helping to safeguard the fabric of the adjacent listed building at No.6 Upper High Street. In view of the location, we are assuming that, if consent is given to this proposal, there will be a condition preventing any occupiers from obtaining a resident's parking permit.

6 Objecting Representations received from different addresses citing the following material planning reasons:

- Limited car parking spaces – further pressure on road network
- Area has reached residential capacity with overdevelopment of HMOs
- Additional storey would appear overbearing and overshadow with a harmful impact on outlook
- Detrimental to the appearance and character of the area
- Concerns on waste disposal arrangements
- Question rights of access to the building involving the courtyard of Wessex Court
- Impact the historical design
- Drainage concerns
- Harm the balance and symmetry of No.5, 6 and 7
- Structural concerns on No.5 (listed building)
- Overdevelopment of the site
- Would provide poor quality housing

0 Supporting Representations received.

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (NPPF)

Main Issues

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(a) Impact on the special interest/significance of the Listed Building

(b) Impact on Protected Species

(a) Impact on the special interest/significance of the Listed Building

Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that when considering whether to grant listed building consent for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Considerable weight and importance must be given to this duty.

The building also lies within the Winchester Conservation Area, wherein the Local Planning Authority is statutorily obliged to pay special attention to the desirability of preserving or enhancing the character or appearance of the area in accordance with Section 72(1) of the 1990 Act.)

Section 16 of the National Planning Policy Framework requires that Local Planning Authorities should take account of the desirability of sustaining or enhancing the significance of heritage assets. Paragraph 212 states that when considering the impact of the proposed works on the significance of a designated heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less-than-substantial harm to its significance. Paragraph 214 states that where a proposed development will lead to substantial harm applications should be refused unless it is demonstrated that the harm is necessary to achieve substantial public benefits. Paragraph 215 states that where a development proposal will cause harm to the significance of a designated heritage asset that is less-than-substantial harm, that harm is weighed against the public benefits of those works, including, where appropriate, securing its optimum viable use.

In addition to the above, it is noted that the Government published a draft version of the NPPF on the 16th of December 2025. The consultation period for the aforementioned document has expired and it is anticipated that a final version of the NPPF will be released in Spring 2026. Whilst the draft NPPF is a consultation document, it is considered that the proposed policies within it are a material consideration and must be given a degree of weight at the present time.

In physical terms, due to its proposed roof design, it is considered the proposed means of connection at roof level between Nos. 5 and 6 would be acceptable, preventing water ingress to both buildings through the roof.

There are residual concerns that the structural engineer's assessment is based on assumed loadings rather than evidenced loading, and the construction of an additional

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storey has potential to add to the weight carried by the external wall of No.6. However, it is appreciated that the structural design has yet to be finalised, noting the annotation to drawing TH0057 -PL13A 'Structural Design' subject to further input from structural engineer. It states that connections to the party wall are to be non-intrusive to ensure no extra loading on No.6. It is considered reasonable to seek clarification on how this would be achieved, therefore condition 5 has been recommended, requiring full details of structural works prior to the commencement of development.

In visual terms, the proposal will retain the existing height of the parapet wall. The form and style of the proposed mansard style roof form is of a type seen on historic buildings throughout Winchester. Due to the proposed extension being set back approximately 1.2 metres from the front wall of the building, it is considered to be visually recessive from ground floor level, therefore limiting its visual impact. In addition, the extension is considered to preserve the visual balance of the terrace of No.s 5-7 Upper High Street. This is due to the existing front wall of the property being retained and the proposed roof extension being set back and set below the ridge of No.6 Upper High Street, which is a listed building, thus preserving its contextual hierarchical position within the street scene and preserving the features and qualities of the listed building and the conservation area.

The fenestration to the front is considered to be appropriate, retaining its original identity, with appropriate spacing and proportion of windows and openings. However, to ensure these windows and external doors are provided to a high standard, a condition for detailed drawings to be submitted and approved before commencement of the works has been recommended.

As to the infilling of the shopfront, this is considered to be acceptable due to lack of historic importance and that it does not contribute positively to the character of the immediate area.

In terms of the materials, the walls of the property would be render in a paint finish with its colour to be confirmed. The proposed extension would consist of a composite slate effect tile with a rolled head ridge. Given its prominent position within Winchester's Conservation Area and limited information as to the proposed materials, a condition requiring material details to be submitted and approved to the Local Planning Authority prior to the commencement of works has been recommended.

It is considered that the proposed development will result in a degree of less than substantial harm to the significance of the setting and historic interest of the listed building. It is considered that the proposal will preserve the character and appearance of the conservation area in accordance with the NPPF.

(b) Impact on Protected Species

Although the listed building consent regime regulates works for the demolition, extension or alteration of listed buildings, the Natural Environment and Rural Communities (NERC)

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Act 2006 places a duty on all local authorities to consider conserving biodiversity in their functions, including determining applications for listed building consent.

A Preliminary Roost Appraisal was carried out on the building as evidence by the Phase 1 Daytime Bat Survey Report by Dr Jonty Denton (June 2025). The assessment concluded that the building has negligible potential for roosting bats. It is considered that satisfactory survey work has been undertaken and is in accordance with best practice guidelines.

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The design, scale and form of the proposed extension particularly its subservient roof profile, setback position and retention of the existing parapet are considered to preserve the special architectural and historic interest of the Grade II listed building at No.6 Upper High Street and maintain its prominence within the terrace. The proposal is also considered to preserve the character and appearance of the Winchester Conservation Area.

In the light of the above and having regard to the requirements of the Planning (Listed Buildings and Conservation Areas Act) 1990 and the NPPF, subject to the recommended conditions, the works would preserve the special interest and significance of the listed building, thereby sustaining its significance as a designated heritage asset. The works would also preserve the appearance, character and significance of the Winchester Conservation Area.

Overall, the development will give rise to less than substantial harm to the significance of the listed building. This harm is limited and is considered capable of being mitigated through conditions. In relation to biodiversity, the Local Planning Authority has a duty under the Natural Environment and Rural Communities Act 2006 to consider protected species. A Preliminary Roost Appraisal concluded that the building has negligible potential for roosting bats, and the survey work undertaken is considered satisfactory and in line with best practice. The proposal is therefore compliant with the statutory tests and relevant heritage policies, and it is concluded that the development is acceptable.

Recommendation

Consent subject to the following conditions:

Conditions

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1. The works hereby consented to shall be begun before the expiration of three years from the date of this consent.

Reason: To comply with the provision of Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans received: -

- Proposed Basement and Ground Floor Plans - PL06
- Proposed First and Second Floor Plans - PL07
- Proposed Loft and Roof Plans - PL08 REV B
- Proposed Elevations - PL09 REV A
- Proposed Street View - PL10 REV A
- Proposed Sections - PL11 REV A
- Location Plan, Existing and Proposed Block Plan - PL12
- Proposed Connection Details - PL13 REV A
- Heritage Statement
- Planning Statement
- Structural Engineer Notes
- Design and Access Statement - REV A
- European Sites Checklist
- Nutrient and Phosphates Budget Calculator
- Phase 1 Daytime Bat Survey

Reason: For the avoidance of doubt, to ensure that the proposed development is carried out in accordance with the plans and documents from which the permission relates to comply with Section 91 of the Town and Country Planning Act 1990.

3. No related works shall commence on site until full details of all new materials and finishes to be used for the new extension have been submitted to and approved in writing by the Local Planning Authority. The schedule shall be accompanied by labelled samples. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

The details to be submitted shall include:

- Rendered masonry, including type of render and paint finish colour.
- Roofing, including the type, size and colour of slates, tiles and membranes, and to the detailing of ridges and flashing

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

4. No related works shall commence on site until large-scale details of all new and altered windows and external doors have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted shall include joinery drawings at a scale of 1:10, 1:5 and 1:1 as necessary, showing elevations and sections, the relationship with surrounding

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fabric, and details of finishes. Following approval of those details, the works shall commence on site until large-scale details of all new and altered windows and external doors have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted shall include joinery drawings at a scale of 1:10, 1:5 and 1:1 as necessary, showing elevations and sections, the relationship with surrounding fabric, and details of finishes. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

5. Notwithstanding the approved drawings, no works related works shall commence on site until full details of all works of structural reinforcement and repair have been submitted to and approved in writing by the Local Planning Authority.

This requirement includes the provision of the following information:

- The location of the proposed repair/reinforcement,
- Detailed drawings, specifications or sketches of the means of reinforcement/type of repair, including its relationship with existing and surrounding fabric,
- A brief structural engineer's note, to explain the rationale for the reinforcement considering the present issue and nature of the proposed measures,
- A brief method statement for the installation of new reinforcement and repairs.

Following approval of these details, all works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

Informatives:

1. In accordance with paragraph 39 of the NPPF (2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC: - offer a pre-application advice service and, - update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance pre-application was sought.